

# SERVICE CENTER SECURITY FENCE

## HOMES FOR GOOD

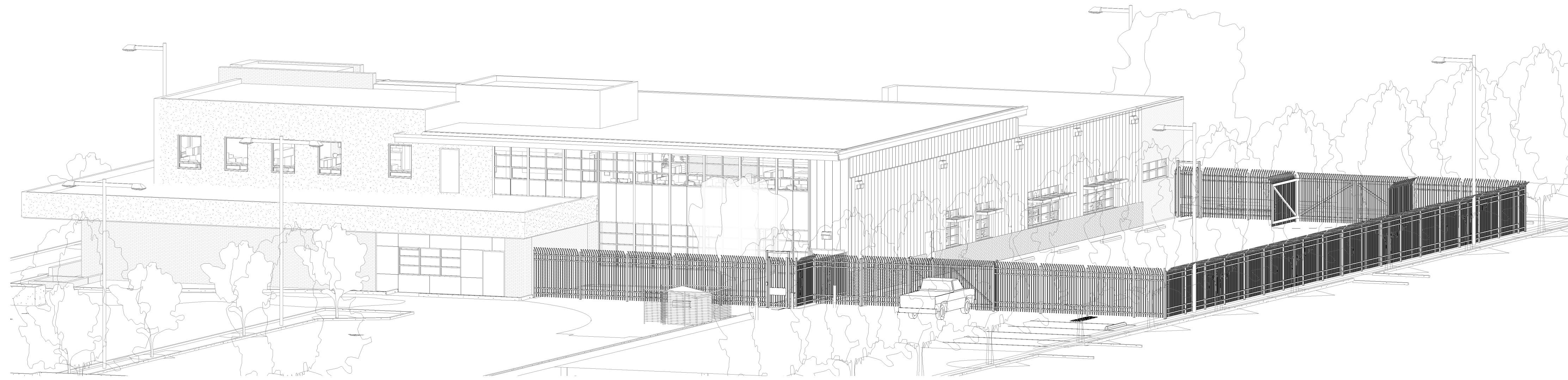
100 WEST 13TH AVENUE  
EUGENE OR 97401



### CONSTRUCTION DOCUMENTS

04.25.2022

PIVOT PROJECT NO: 2123.00



PERSPECTIVE VIEW OF NEW FENCE AND GATE WORK - LOOKING NORTHEAST

NOT TO SCALE

#### PROJECT TEAM

##### OWNER

HOMES FOR GOOD  
100 WEST 13TH  
EUGENE, OR 97401  
PHONE: (541) 682-2521  
CONTACT: KURT VON DER EHE

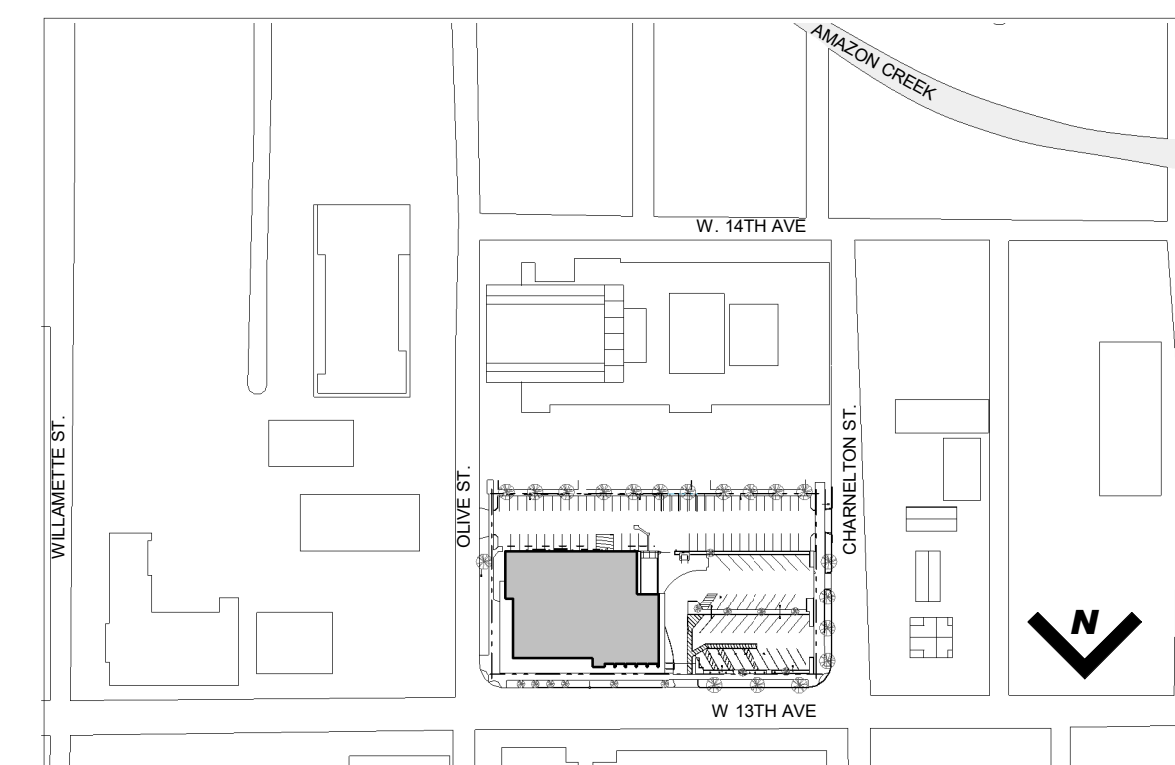
##### ARCHITECT

PIVOT ARCHITECTURE PC  
44 WEST BROADWAY, SUITE 300  
EUGENE, OR 97401  
PHONE: (541) 342-7291  
CONTACT: KELLEY HOWELL OR CLAY NEAL

##### ELECTRICAL ENGINEER

KCL ENGINEERING  
296 E. 5TH AVE, SUITE 501  
EUGENE, OR 97401  
PHONE: (541) 729-7645  
CONTACT: SHYLA KEAYS-GOODMAN

#### VICINITY MAP



# PROJECT GENERAL NOTES

## HAZARDOUS MATERIALS:

BUILDING MATERIALS CONTAINING ASBESTOS HAVE BEEN FOUND IN THIS BUILDING IN THE PAST. THE OWNER HAS PREVIOUSLY REMOVED OR ENCAPSULATED MOST OF THE ASBESTOS. BY THIS NOTICE, THE CONTRACTOR AND THE SUB-CONTRACTORS, AND THEIR WORKERS, ARE ASKED TO BE AWARE OF THE POSSIBLE PRESENCE OF ASBESTOS BEARING MATERIALS AND IF FOUND, OR EVEN SUSPECTED, TO IMMEDIATELY STOP WORK IN THE AREA, AND NOTIFY THE ARCHITECT AND THE OWNERS PROJECT MANAGER, JARED YOUNG, OF THE LOCATION AND CONDITION. A SEPARATE INDEPENDENT CONTRACT WILL BE ISSUED BY THE OWNER TO HAVE THE SUSPECTED MATERIAL TESTED AND IF NEEDED REMOVED OR ENCAPSULATED.

## CALL BEFORE YOU DIG

CALL ONE NUMBER 1-800-332-2344 FOR UTILITY LOCATIONS 48 HOURS BEFORE YOU DIG

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH OAR 852-001-0010 THROUGH OAR 852-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER AT (503) 232-1987.

# ABBREVIATIONS

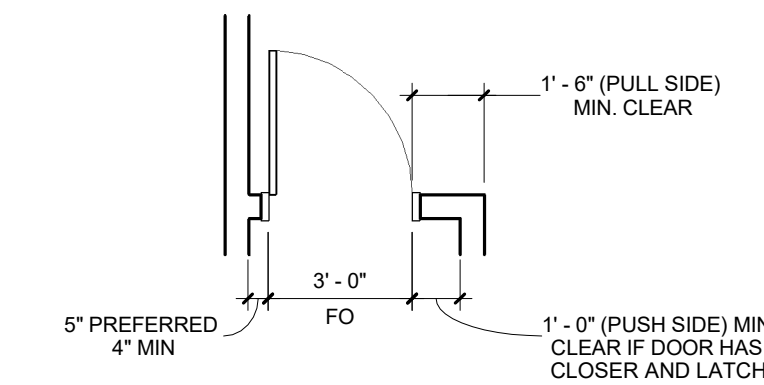
@	AT
AB	ANCHOR BOLT
AC	ASPHALTIC CONCRETE
ACOUS	ACOUSTIC
ACT	ACOUSTICAL TILE CEILING SYSTEM
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
BLDG	BUILDING
BO	BOTTOM OF
CB	CATCH BASIN
CFCI	CONTRACTOR FURNISHED/CONTRACTOR INSTALLED
CJ	CONTROL JOINT
CL	CENTER LINE
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
DBL	DOUBLE
DEMOL	DEMOLITION/DEMOLISH
DF	DOUGLAS FIR, DRINKING FOUNTAIN
DIAG	DIAGONAL
DIA	DIAMETER
DISP	DISPENSER
DN	DOWN
DS	DOWNSPOUT
DTL	DETAIL
DWG	DRAWING
(E)	EXISTING
EA	EACH
EJ	EXPANSION JOINT
EL, ELEV	ELEVATION
ELEC	ELECTRICAL
EQ	EQUAL
EW	EACH WAY
EXT	EXTERIOR
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FFE	FINISH FLOOR ELEVATION
FF	FINISH FLOOR
FIN	FINISH/FINISHED
FLR	FLOOR
FO	FACE OF
FOP	FACE OF FINISH
FRP	FIBER REINFORCED PANEL
FTG	FOOTING
GA	GAUGE
GB	GRAB BAR
GLB	GLUE LAM BEAM
GYP BD	GYP SUM BOARD
GYP	GYP SUM BOARD
HST	HEIGHT
HORIZ	HORIZONTAL
HR	HANDRAIL
HM	HOLLOW METAL
INSUL	INSULATION
INT	INTERIOR
JT	JOINT
KD	KNOCK DOWN
LAV	LAVATORY
LOC	LOCATION
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MTL	METAL
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIMENSION
OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED OWNER INSTALLED
OFS	OUTSIDE FACE OF STUD
OH	OPPOSITE HAND
OPNG	OPENING
OPP	OPPOSITE
OTS	OPEN TO STRUCTURE
PJ	PANEL JOINT
P LAM	PLASTIC LAMINATE
PS	PAINT SYSTEM
PT	PRESSURE TREATED
PTD	PAINTED
PLY	PLYWOOD
R	RADIUS
RB	RUBBER BASE
RD	ROOF DRAIN
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RUB	RUBBER
RVL	REVEAL
SD	STORM DRAIN
SECT	SECTION
SHT	SHEET
SIM	SIMILAR
SPECS	SPECIFICATIONS
SQFT, SF	SQUARE FOOT
S STL	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STRUC	STRUCTURAL
T	TEMPERED
T&B	TOP & BOTTOM
T&G	TONGUE AND GROOVE
TEMP	TEMPORARY
TO	TOP OF
TCC	TOP OF CONCRETE
TOW	TOP OF WALL
TOS	TOP OF STRUCTURE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VFY	VERIFY
VIF	VERIFY IN FIELD
WA	WALL ASSEMBLY
W	WITH
WD	WOOD
WP	WATER PROOF

# ARCHITECTURAL SYMBOLS

	BUILDING ELEVATION
	INTERIOR ELEVATION
	BUILDING SECTION
	WALL SECTION
	DETAIL SECTION
	DETAIL CALLOUT
	SPECIFICATION KEYNOTE* *LETTER IS A DESIGNATOR AND IS NOT LINKED TO A SPECIFIC SPEC ITEM
	KEYNOTE
	FINISH TAG
	CASEWORK
	REVISION TAG
	COLUMN CENTERLINE
	EXISTING COLUMN CENTERLINE
	ACCESS CONTROL

	FLOOR MATERIAL TRANSITION
	ROOM NAME & NUMBER
	WINDOW SYMBOL
	STOREFRONT SYMBOL
	DOOR SYMBOL
	CEILING HEIGHT SYMBOL
	VERTICAL ELEVATION
	INTERIOR WALL TYPE WITH NO SOUND ATTENUATION
	INTERIOR WALL TYPE WITH SOUND ATTENUATION
	ROOM FINISH TAG
	FIRE EXTINGUISHER
	EXIT SIGN
	DOOR ACTUATOR
	TEMPERED GLAZING
	SLOPE ARROW (SLOPE AS INDICATED)

## GENERAL NOTES - FLOOR PLANS



- A. DOORS SHOWN ADJACENT TO A FLANKING WALL OR OTHER FIXED OBSTRUCTION, SHALL BE LOCATED AS SHOWN ABOVE.
- B. OTHER LOCATIONS SHALL BE ON CENTERLINE OF ROOM OR AS SPECIFICALLY DIMENSIONED.

# SHEET INDEX

GENERAL	TITLE SHEET
G001	GENERAL INFORMATION
G010	CODE REVIEW AND LIFE SAFETY INFORMATION
DEMOLITION	DEMOLITION SITE PLAN
D001	DEMOLITION SITE PLAN
ARCHITECTURE	OVERALL SITE PLAN
A001	ENLARGED SITE PLAN - PROJECT AREA
A010	ENLARGED SITE PLANS
A011	SITE DETAILS
A021	WEST AND EAST ELEVATION
A231	SOUTH ELEVATION
ELECTRICAL	ELECTRICAL GENERAL NOTES & SYMBOLS
E000	ELECTRICAL SITE PLAN
E101	ELECTRICAL PARTIAL LOWER LEVEL FLOOR PLAN
E201	ELECTRICAL DETAILS



DEFERRED SUBMITTALS

- FENCING STRUCTURAL DESIGN
- SECURITY ACCESS CONTROL DESIGN

SITE DATA SUMMARY

TOTAL SITE AREA: 64,314 SF

EXISTING IMPERVIOUS SURFACE AREA

LOCATION	GSF
ROOF:	21,016 GSF
PAVING:	37,008 GSF
TOTAL:	54,082 GSF

**NO CHANGE IN IMPERVIOUS AREA UNDER THIS PROJECT**

LAND USE CODE INFORMATION

ADDRESS: 100 W. 13TH AVE, EUGENE OR 97401

MAP & TAX LOT #: 17-03-31-42 (11700)

ZONE: C-2 COMMUNITY COMMERCIAL ZONE  
EXISTING USE: MEDICAL CLINIC & GOVERNMENT OFFICES

MAX BUILDING HEIGHT: 120' (C-2)

SETBACKS:  
MINIMUM FRONT & INTERIOR YARD: 0' (C-2)  
MAXIMUM FRONT YARD: 15' (C-2)

MAX FENCE HEIGHT: PER EUGENE CODE 9.2170 (6) COMMERCIAL ZONE DEVELOPMENT STANDARDS - GENERAL 8' IF NOT WITHIN SETBACK, 42' IF WITHIN SETBACK

LANDSCAPING:  
NO CHANGE TO EXISTING LANDSCAPING

APPLICABLE CODE:

- 2019 OREGON STRUCTURAL SPECIALTY CODE
- 2021 OREGON ELECTRICAL SPECIALTY CODE
- 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE
- 2019 OREGON MECHANICAL SPECIALTY CODE
- 2017 OREGON PLUMBING SPECIALTY CODE
- 2011 OREGON ELEVATOR SPECIALTY CODE
- 2019 OREGON FIRE CODE
- 2018 NFPA 1, 10
- 2018 NFPA 13
- OREGON SHPO ELIGIBLE & CONTRIBUTING BUILDINGS
- ICC 117.1-2009 ACCESSIBILITY CODE

BUILDING CODE INFORMATION

SEISMIC DESIGN:  
SEISMIC RISK CATEGORY (1604.5): II  
SEISMIC DESIGN CATEGORY (1613): D  
SEE STRUCTURAL FOR ADDITIONAL DESIGN CRITERIA

OCCUPANCY:  
BUSINESS  
ASSEMBLY

CONSTRUCTION TYPE:  
II-B, ONLY THE BUILDING'S EXISTING BASEMENT LEVEL HAS AN EXISTING FIRE SPRINKLER SYSTEM.

AUTOMATIC SPRINKLER SYSTEM:  
ONLY THE BUILDING'S EXISTING BASEMENT LEVEL HAS AN EXISTING FIRE SPRINKLER SYSTEM.

BUILDING AREA SUMMARY:

	ENCLOSED	CANOPY
LOWER LEVEL:	12,459 GSF	0 GSF
FIRST FLOOR:	18,292 GSF	4,019 GSF
SECOND FLOOR:	7,641 GSF	893 GSF
TOTAL:	36,461 GSF	4,912 GSF

**NO CHANGE IN BUILDING AREA UNDER THIS PROJECT**

VEHICULAR PARKING SPACE CALCULATIONS\*

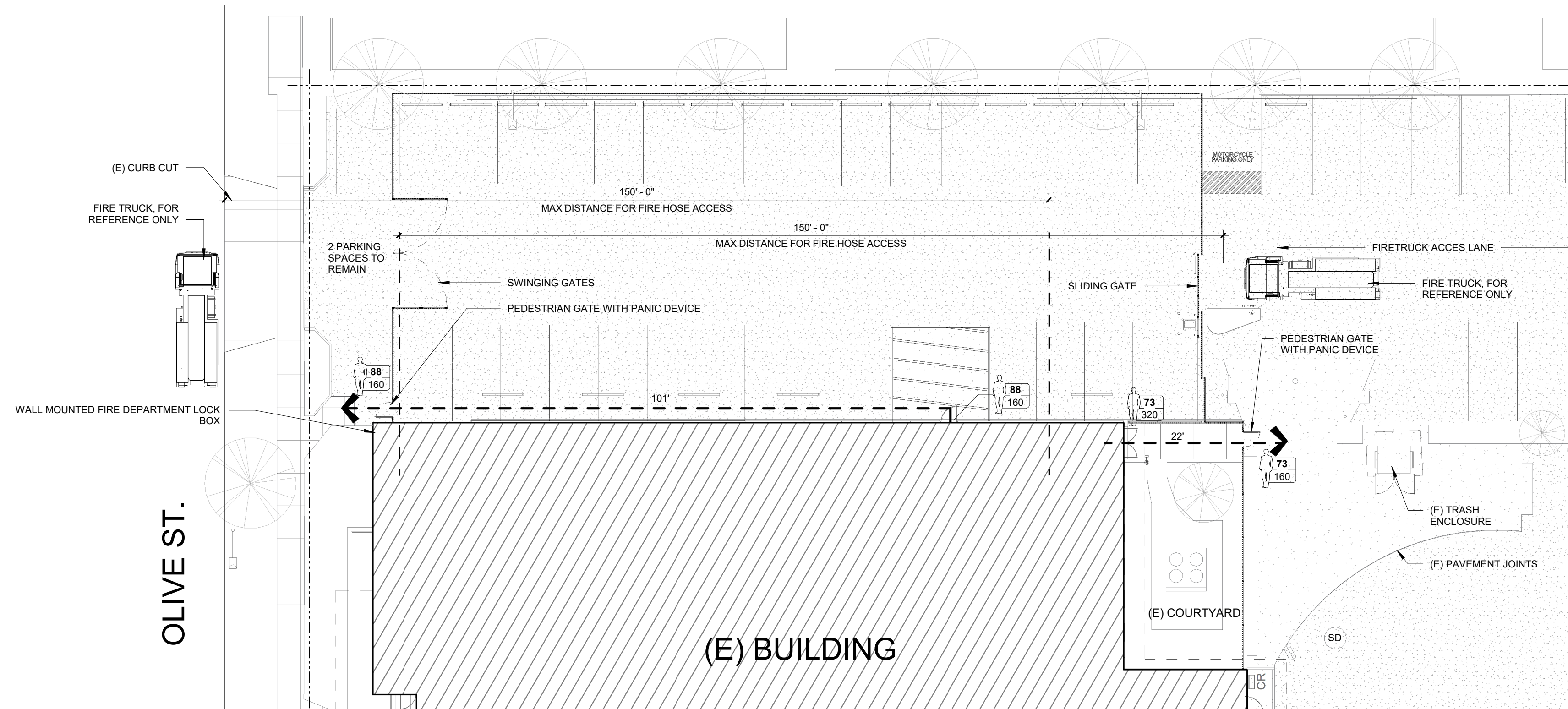
	GOVERNMENT OFFICE (1 / 330 SF FLOOR AREA)	MEDICAL CLINIC (1 / 200 SF OF FLOOR AREA)	TOTAL SPACES REQUIRED
REQUIRED PARKING SPACES PER BUILDING FLOOR AREA:	30,915/330 = 94	5,546/200 = 28	122 SPACES

25% REDUCTION PER 9.6410(3) = 122 X .75 = 91.5 MINIMUM 92 SPACES REQUIRED

ORS 447.233 ADA SPACES REQUIRED FOR LOT: 92 PARKING SPACES INCLUDING 4 REQUIRED ADA SPACES AND 1 VAN ACCESSIBLE SPACE

TOTAL STANDARD PARKING SPACES PROVIDED: 97 PARKING SPACES INCLUDING 5 ACCESSIBLE PARKING SPACES AND 1 VAN ACCESSIBLE SPACE PLUS ONE MOTORCYCLE SPACE

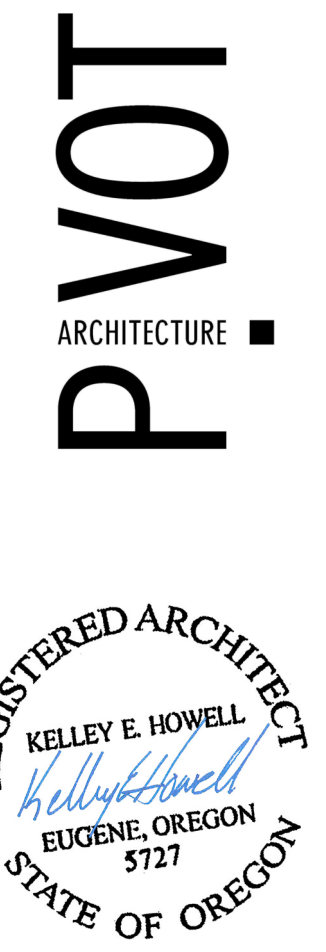
SEE SITE PLAN 1/A001 FOR PARKING COUNTS



**1 SITE PLAN - LIFE SAFETY PLAN & FIRE TRUCK ACCESS DIAGRAM**  
1/16" = 1'-0"

OCCUPANCY STATISTICS & EXITING LEGEND

- EGRESS WIDTH ICON**
  - NUMBER OF OCCUPANTS USING EXIT
  - MAXIMUM NUMBER OF OCCUPANTS ALLOWED THROUGH DOOR PER 1005.3.2:  
32" CLEAR DOOR WIDTH / 2 = 160 OCC.;  
64" CLEAR WIDTH / 2 = 320 OCC.;  
96" CLEAR WIDTH / 2 = 480 OCC.
- ALLOWABLE MAXIMUM TRAVEL DISTANCE**
  - MAXIMUM EXIT ACCESS TRAVEL DISTANCE (1017.2), TO NEAREST EXTERIOR EGRESS DOOR OR VERTICAL EXIT ENCLOSURE NOT TO EXCEED:
  - UNSPRINKLERED BUILDING & OCCUPANCY - 200'
  - SPRINKLERED BUILDING & OCCUPANCY - 300'
- ACTUAL COMMON PATH TRAVEL DISTANCE**
- ACTUAL TOTAL TRAVEL DISTANCE**
- COMMON PATH OF TRAVEL (1014.3)**
- DIRECTION OF TRAVEL**
- AREA NOT IN SCOPE OF WORK**



CONSTRUCTION DOCUMENTS  
SERVICE CENTER SECURITY FENCE  
HOMES FOR GOOD  
100 WEST 13TH AVENUE  
EUGENE, OR 97401

SHEET TITLE:  
**CODE REVIEW AND LIFE SAFETY INFORMATION**

REVISIONS:

#	DESCRP.	DATE
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ISSUE DATE: 04/25/2022

G010



OLIVE STREET

PRIVATE ADJACENT PROPERTY - ACCESS ONLY WITH OWNER'S PERMISSION

GENERAL NOTES - DEMOLITION

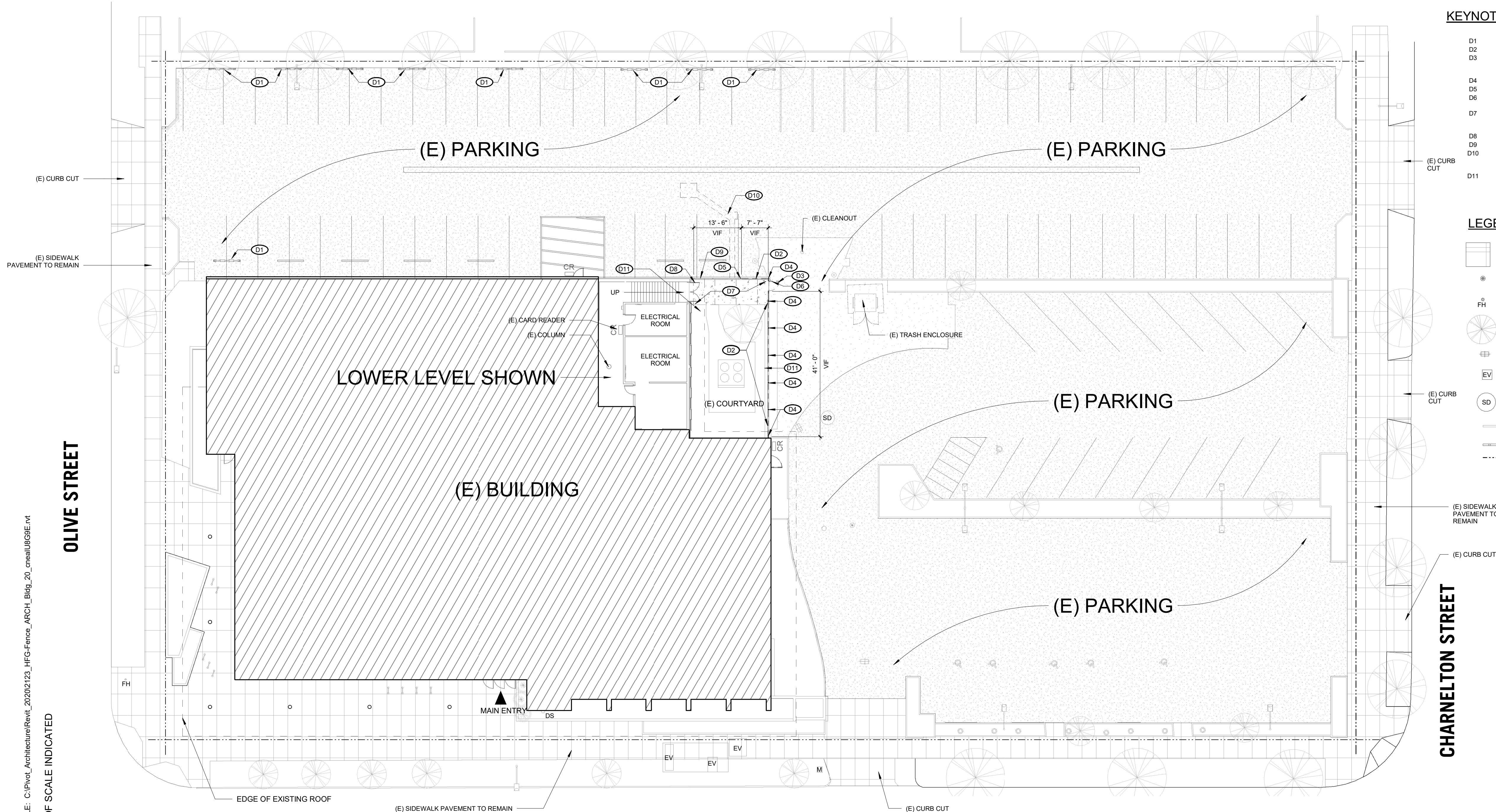
- A. MAINTAIN SAFE ACCESS TO AND EGRESS FROM THE BUILDING AT ALL TIMES. DO NOT BLOCK ANY REQUIRED EXIT PATHS.
- B. PREVENT INTERRUPTION IN UTILITIES OR SERVICES THAT WOULD INCONVENIENCE BUILDING OCCUPANTS.
- C. COORDINATE WITH THE OWNER TO MAINTAIN CONTINUITY OF TENANT'S OPERATIONS.
- D. PROTECT ALL EXISTING CONSTRUCTION TO REMAIN.
- E. PROTECT (E) FLOORS, WALLS, CEILINGS & FINISHES TO REMAIN.
- F. REMOVE AND STORE MATERIAL AND EQUIPMENT WHERE INDICATED TO BE SALVAGED OR RELOCATED.
- G. COORDINATE WITH ELECTRICAL FOR ITEMS TO BE DEMOLISHED, REMOVED, AND/OR SALVAGED.
- H. COORDINATE WITH OWNER ON DEMOLITION. MAINTAIN A SECURE AND WEATHER-PROOF BUILDING DURING CONSTRUCTION.
- I. REMOVE LANDSCAPING PLANTS AND MATERIALS AS NECESSARY FOR CONSTRUCTION. SALVAGE PLANTS FOR REINSTALLATION IN SAME LOCATION. IF SALVAGED PLANTINGS CANNOT BE REPLANTED, COORDINATE NEW PLANTINGS WITH OWNER.

KEYNOTES

- D1 REMOVE WHEEL STOP. RETAIN FOR REINSTALLATION
- D2 REMOVE (E) DECORATIVE FENCE PANELS
- D3 REMOVE (E) GATE POSTS AND GATE. REMOVE POST FOOTINGS AS NECESSARY FOR INSTALLATION OF NEW POST FOOTINGS
- D4 REMOVE (E) FENCE POST
- D5 RETAIN AND PROTECT (E) POST
- D6 SALVAGE DOOR HARDWARE (PANIC DEVICE AND LOCK) FOR REINSTALLATION
- D7 SAWCUT AND REMOVE (E) CONCRETE SIDEWALK UP TO (E) DOOR THRESHOLD. PROTECT (E) DOOR AND THRESHOLD TO REMAIN
- D8 REMOVE (E) DOOR HARDWARE. SEE ELECTRICAL
- D9 TWO PANELS (THREE POSTS) OF (E) FENCE TO REMAIN
- D10 SAWCUT PAVING AND TRENCH AS NECESSARY FOR INSTALLATION OF GATE MACHINE CONDUIT AND VEHICLE SENSOR LOOP. SEE SITE PLAN
- D11 CAREFULLY REMOVE LANDSCAPING PLANTS AND MATERIALS AS NECESSARY FOR CONSTRUCTION. SALVAGE PLANTS FOR REINSTALLATION IN SAME LOCATION IN COORDINATION WITH OWNER

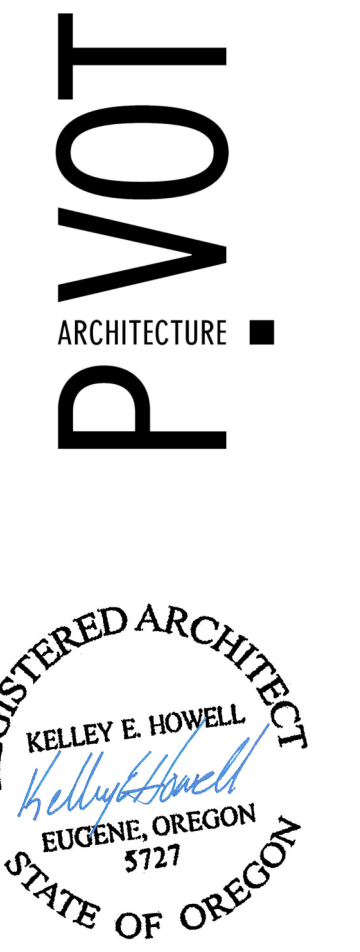
LEGEND

	(E) SIDEWALK & JOINTS		CONCRETE PAVING
	(E) AREA DRAIN		(E) CONCRETE PAVING
	(E) FIRE HYDRANT		(E) ASPHALT PARKING
	EXISTING TREES		(E) POLE LIGHT
	(E) CATCH BASIN		(E) WATER METER
	(E) ELECTRICAL VAULT SEE ELECTRICAL		(E) DOWNSPOUT
	(E) STORM WATER MANHOLE		EXISTING CURB AND PLANTER WALLS
			DECORATIVE FENCING
			PROPERTY LINE



WEST 13TH AVENUE

1 DEMO PLAN - SITE  
1/16" = 1'-0"



CONSTRUCTION DOCUMENTS  
 SERVICE CENTER SECURITY FENCE  
 HOMES FOR GOOD  
 100 WEST 13TH AVENUE  
 EUGENE, OR 97401

SHEET TITLE:  
**DEMOLITION  
 SITE PLAN**

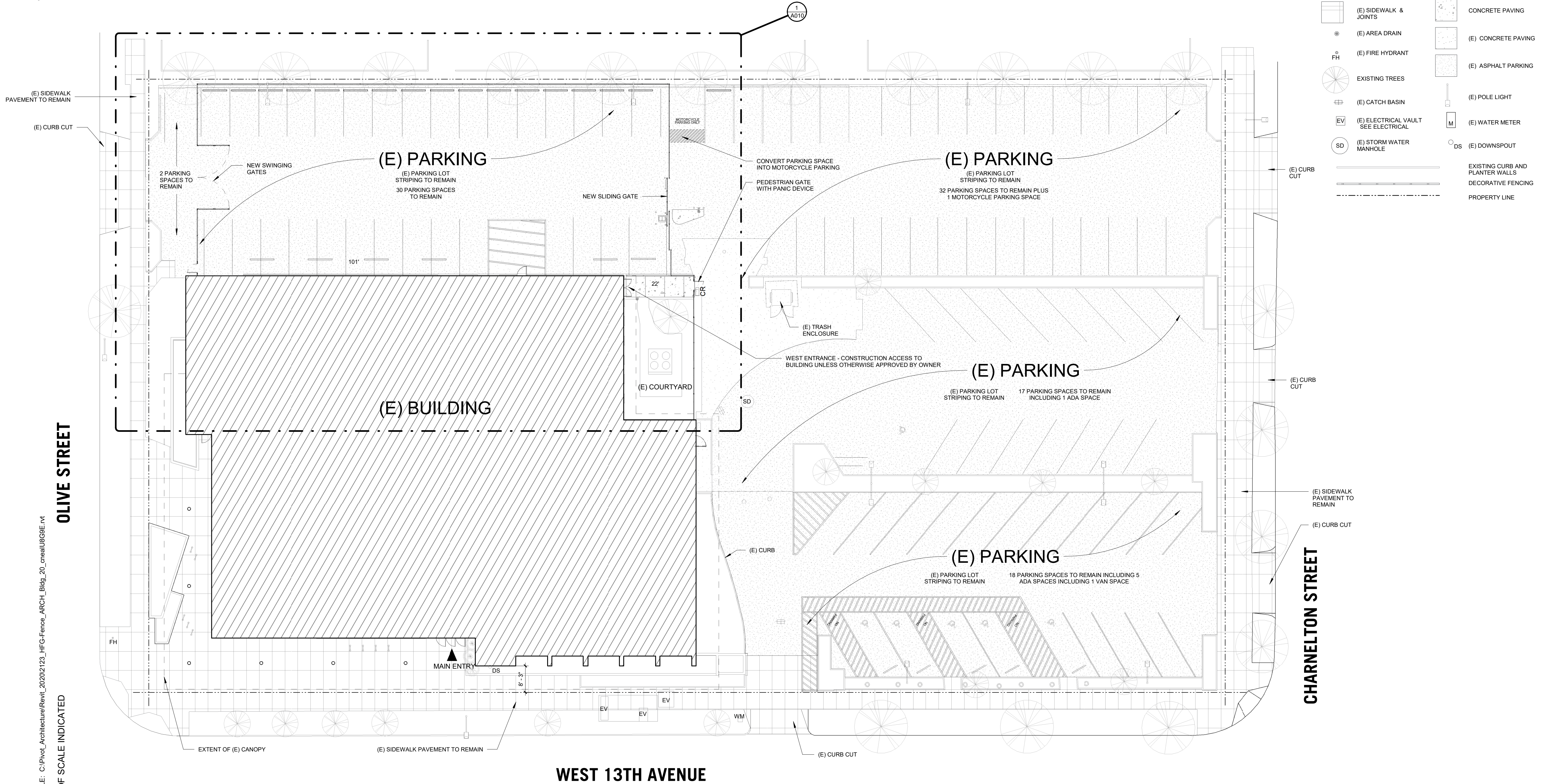
REVISIONS:

#	DESCRP.	DATE

ISSUE DATE: 04/25/2022

D001





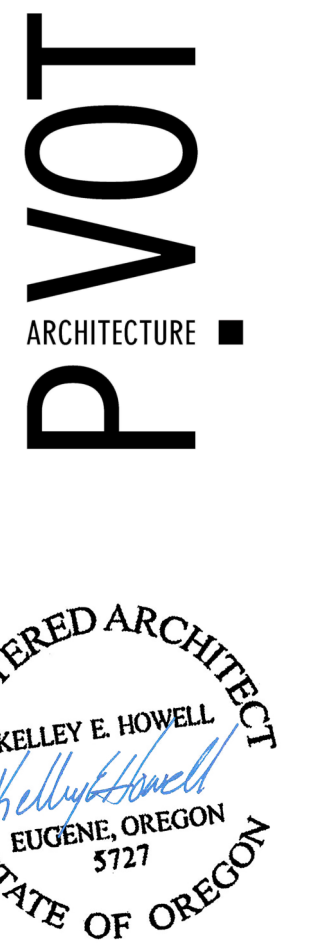
GENERAL NOTES - SITE PLAN

- A. CONSTRUCTION ENTRANCE TO BE LIMITED TO WEST ENTRANCE TO BUILDING UNLESS COORDINATED IN ADVANCE WITH TENANTS
- B. ALL EXISTING LANDSCAPING TO BE PROTECTED IN PLACE

LEGEND

- |  |  |  |                                    |
|--|--|--|------------------------------------|
|  | (E) SIDEWALK & JOINTS                  |  | CONCRETE PAVING                    |
|  | (E) AREA DRAIN                         |  | (E) CONCRETE PAVING                |
|  | (E) FIRE HYDRANT                       |  | (E) ASPHALT PARKING                |
|  | EXISTING TREES                         |  | (E) POLE LIGHT                     |
|  | (E) CATCH BASIN                        |  | (E) WATER METER                    |
|  | (E) ELECTRICAL VAULT<br>SEE ELECTRICAL |  | (E) DOWNSPOUT                      |
|  | (E) STORM WATER<br>MANHOLE             |  | EXISTING CURB AND<br>PLANTER WALLS |
|  |  |  | DECORATIVE FENCING                 |
|  |  |  | PROPERTY LINE                      |

1 SITE PLAN  
1/16" = 1'-0"



CONSTRUCTION DOCUMENTS  
 SERVICE CENTER SECURITY FENCE  
 HOMES FOR GOOD  
 100 WEST 13TH AVENUE  
 EUGENE, OR 97401

SHEET TITLE:  
**OVERALL SITE PLAN**

REVISIONS:  
 #    DESCRP.    DATE

ISSUE DATE: 04/25/2022

A001



# EXHIBIT A

LAND USE DETERMINATION REGARDING LOT LINE ADJUSTMENT, 2003

Planning & Development Planning Division  
City of Eugene  
900 West Chamber Street  
Eugene, Oregon 97401  
541.846.2277  
541.846.2272 fax  
www.eugene.or.gov

May 27, 2003

David Boman  
3186 Silverdale LLC  
9714 Lincoln Street  
Eugene, OR 97401

**COMPLETENESS REVIEW AND PROPERTY LINE ADJUSTMENT APPROVAL FOR BIK ENTERPRISES, LLC (A.G. 17)**

Your property line adjustment was deemed complete on May 10, 2003 and granted approval by the Planning Director on May 22, 2003. This lot will be recognized by the City on the approved property line change map (copy enclosed). If you have questions regarding the approval of this property line adjustment, please contact Thomas Adams (541) 852-3052.

For your information, the City will mail a Notice of Property Line Adjustment with the Lane County Deeds and Records Office. This Notice does not change the deed, but simply provides a recorded notification of the City's approval of a property line adjustment. The property lines do not change until a new deed is recorded with Lane County, and this receipt will be recorded with the Lane County Department of Assessment and Taxation is contacted by the applicant.

Sincerely,  
*Michelle Kaitie*  
Michelle Kaitie  
Land Use Permit Specialist

Enclosure:  
cc: Chad Goodwin  
William A. Mahood Engineers  
771 Lincoln Street  
Eugene, OR 97401

PROPERTY AFTER PROPERTY LINE ADJUSTMENT (REMOVAL)

Replotting of the southeast corner of the Henry Chadwick First Addition to Eugene, Oregon, as platted and recorded in book 11, page 1, Lane County Oregon Plat Records, and correct the dimensions of the four corners of Olive Street and the South range of 13th Street and one corner of 14th Street. Water along the West range of Olive Street, a distance of 178 feet from the West corner of 12th Street to the parallel with the South range of 13th Street, to the East range of Chamber Street, shall be a block 17' 0" wide along the East range of Chamber Street to the northeast corner of said Henry Chadwick Addition to Eugene, Oregon, and 178 feet along the North line of said addition to the point of beginning, all in Eugene, Lane County, Oregon.

Containing 1.48 acres, more or less, subject to all easements, rights-of-way and encumbrances of record as well as those apparent upon the ground.

Survey based on a survey by William A. Mahood, recorded January 1994 as County Survey File No. 1374 in the records of Lane County, Oregon.

RECEIVED  
PLANNING & DEVELOPMENT DIVISION  
MAY 27 2003  
CITY OF EUGENE

EXHIBIT A

RECEIVED  
PLANNING & DEVELOPMENT DIVISION  
MAY 27 2003  
CITY OF EUGENE

## GENERAL NOTES - SITE PLAN

- A. CONSTRUCTION ENTRANCE TO BE LIMITED TO WEST ENTRANCE TO BUILDING UNLESS COORDINATED IN ADVANCE WITH TENANTS
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## KEYNOTES

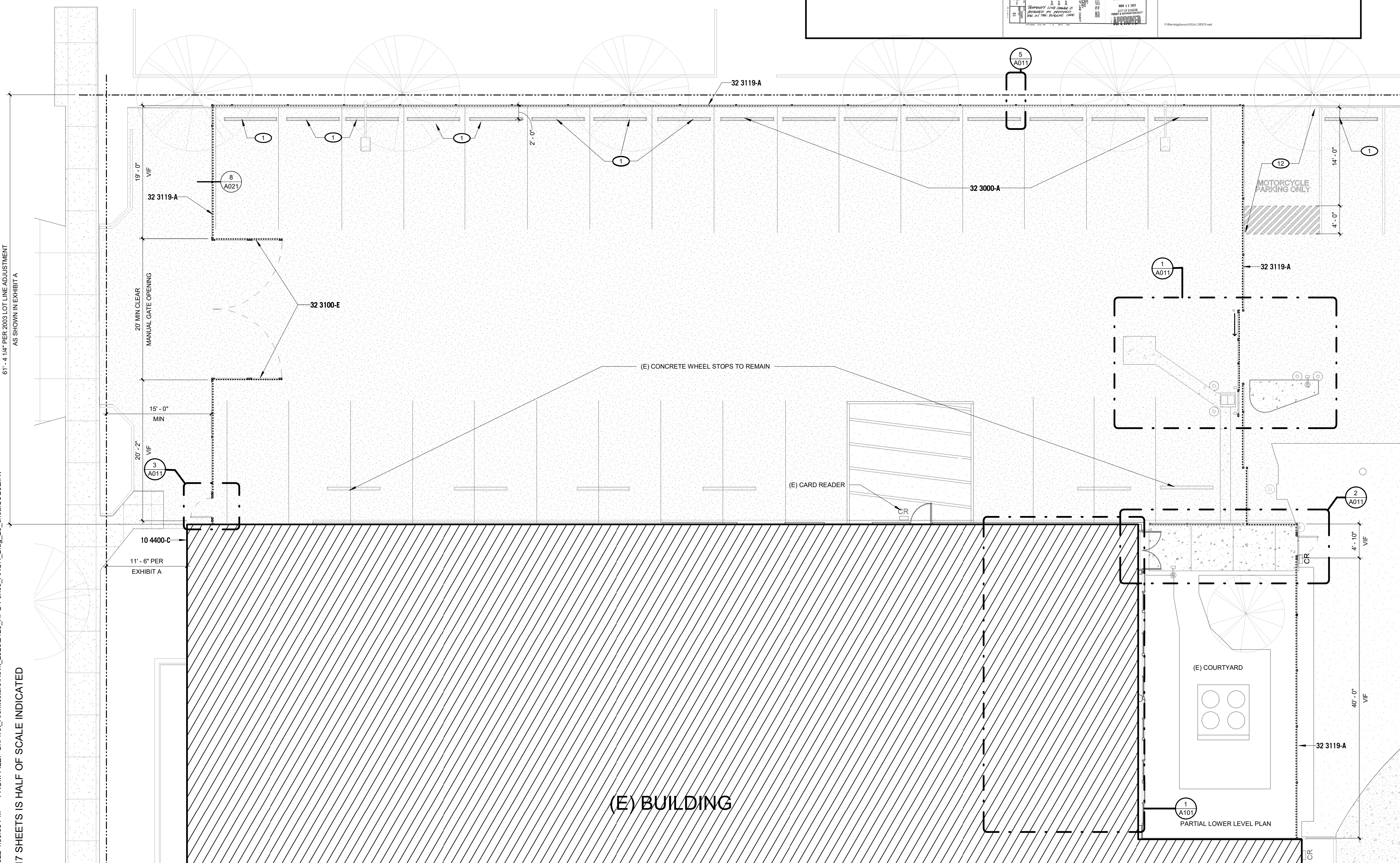
- 1 REINSTALL (E) WHEELSTOP. PROVIDE 2" MIN CLR FROM CENTERLINE OF WHEELSTOP TO VERTICAL ELEMENTS LIKE FENCING
- 12 ALL PAVING PAINT BY OWNER

## KEYNOTE - SPECIFICATION

- 10 4400-C WALL MOUNTED FIRE DEPARTMENT LOCK BOX
- 32 3000-A CONCRETE WHEEL STOP
- 32 3100-E PROVIDE TWO 18" CANTILEVERED MANUAL SWINGING GATES WITH CANE BOLT LATCHING HARDWARE
- 32 3119-A ORNAMENTAL SECURITY FENCE - 8' TALL

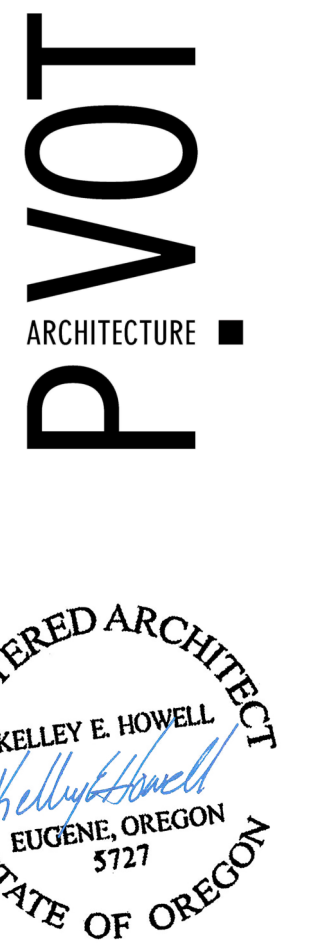
## LEGEND

	(E) SIDEWALK & JOINTS		CONCRETE PAVING
	(E) AREA DRAIN		(E) CONCRETE PAVING
	(E) FIRE HYDRANT		(E) ASPHALT PARKING
	EXISTING TREES		(E) POLE LIGHT
	(E) CATCH BASIN		(E) WATER METER
	(E) ELECTRICAL VAULT SEE ELECTRICAL		(E) DOWNSPOUT
	(E) STORM WATER MANHOLE		EXISTING CURB AND PLANTER WALLS
			DECORATIVE FENCING
			PROPERTY LINE



# 1 ENLARGED SITE PLAN

1/8" = 1'-0"



CONSTRUCTION DOCUMENTS  
SERVICE CENTER SECURITY FENCE  
HOMES FOR GOOD  
100 WEST 19TH AVENUE  
EUGENE, OR 97401

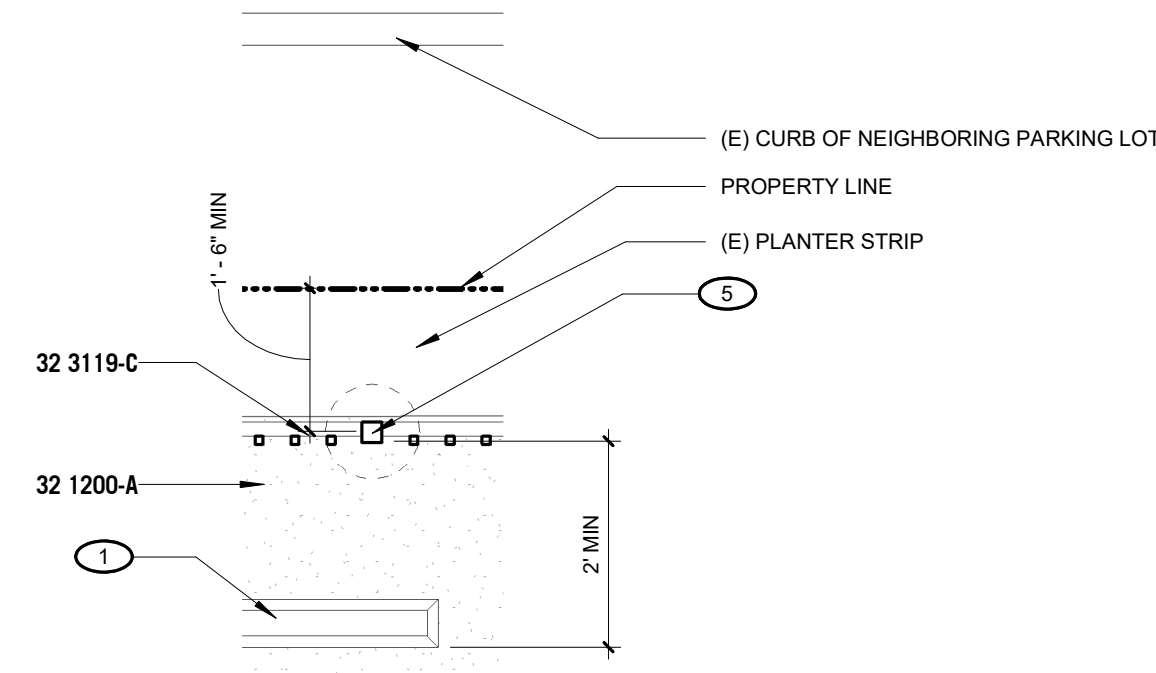
SHEET TITLE:  
**ENLARGED SITE PLAN - PROJECT AREA**

REVISIONS:  
# DESCRP. DATE

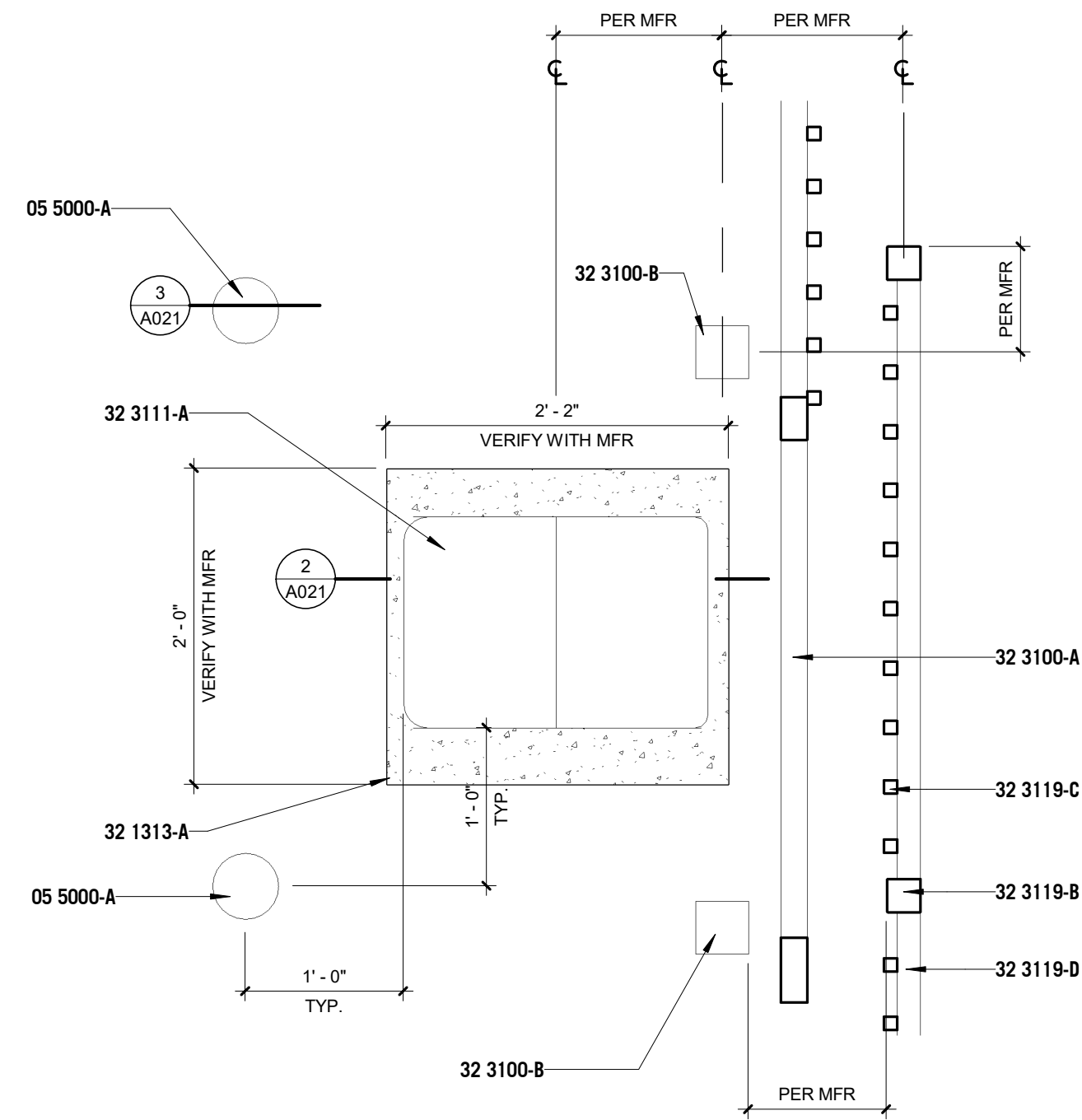
ISSUE DATE: 04/25/2022

A010

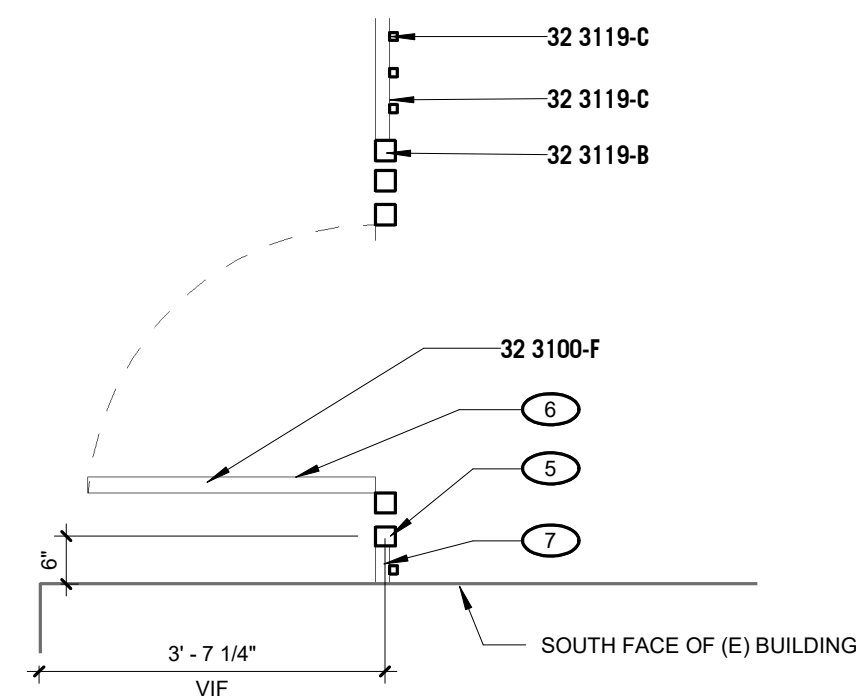




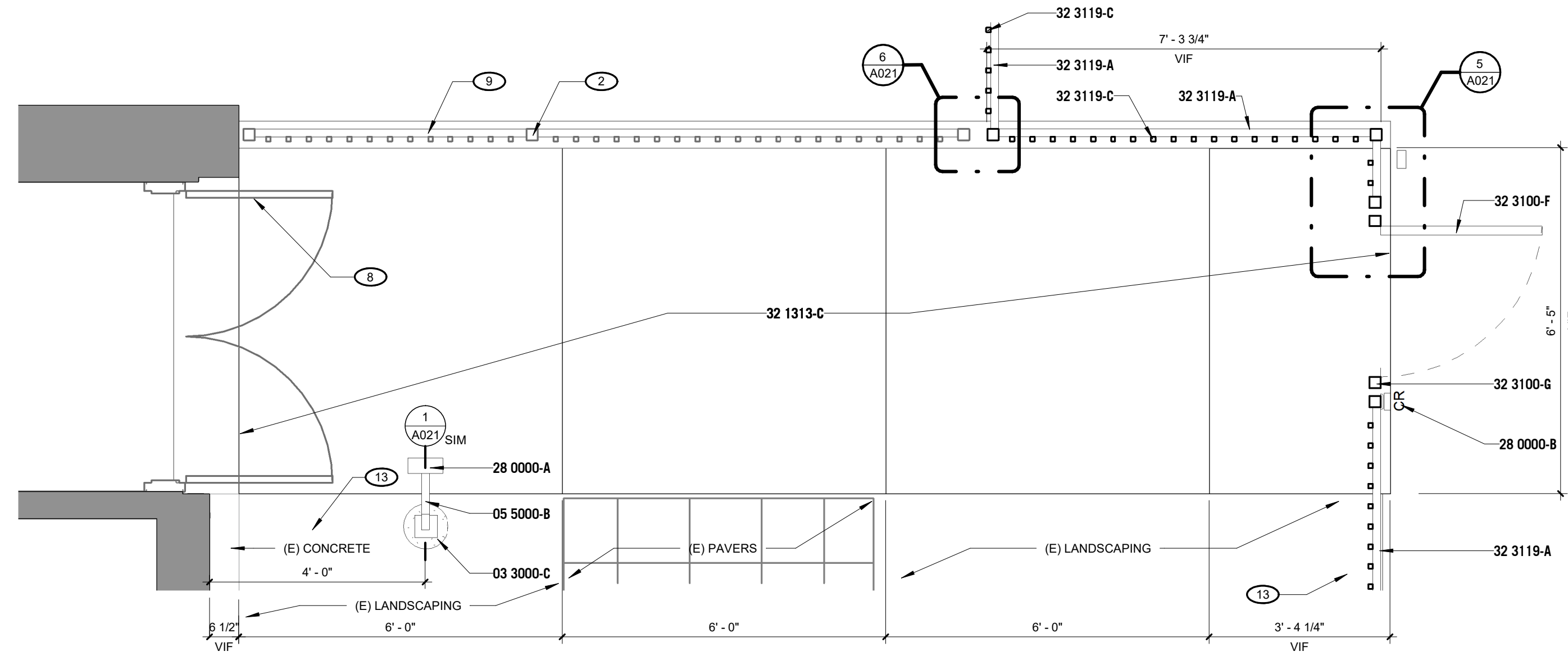
**5 FENCING AT SOUTH EDGE OF PARKING LOT**  
1/2" = 1'-0"



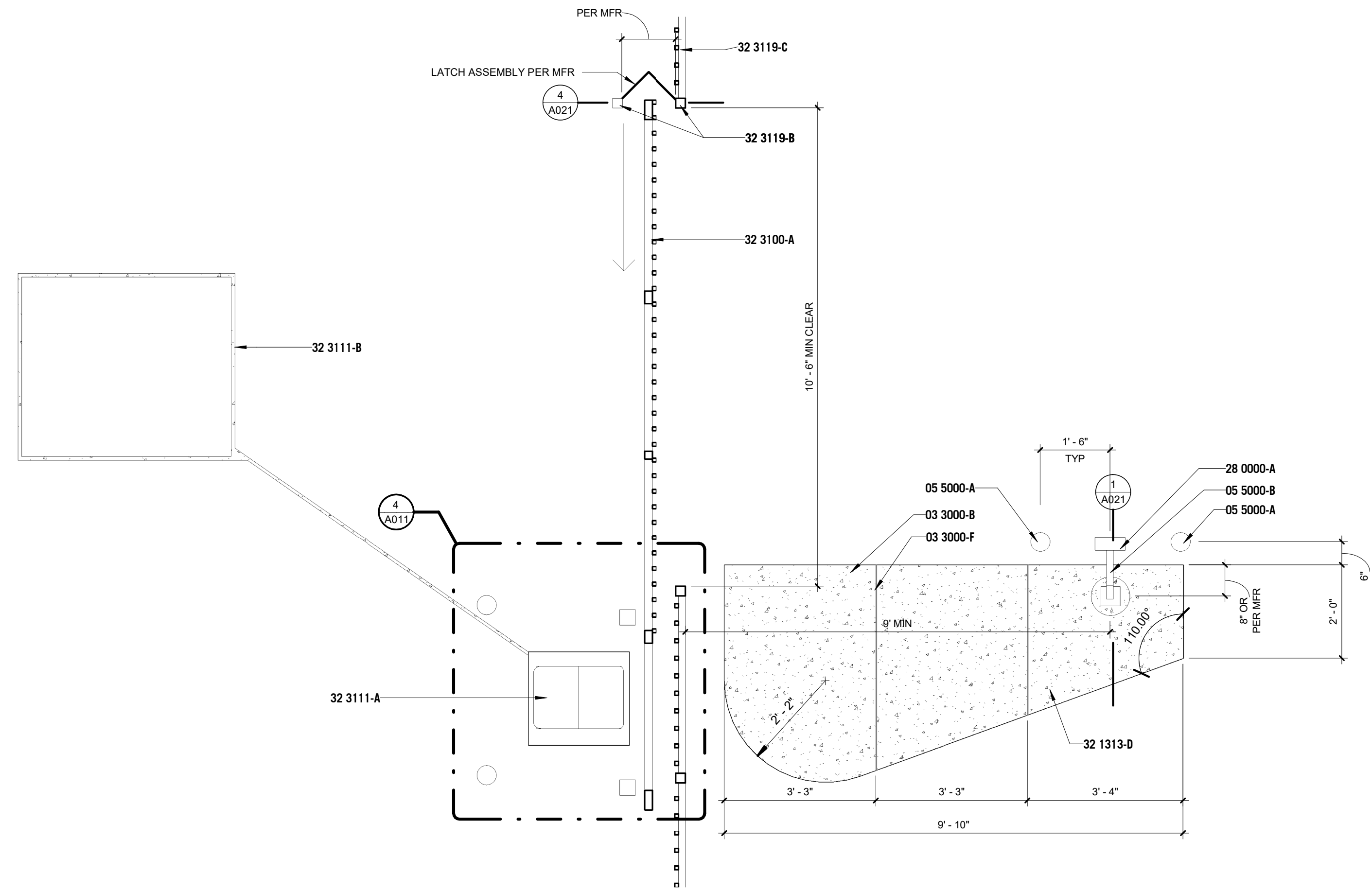
**4 WEST VEHICLE GATE OPERATOR AREA**  
1" = 1'-0"



**3 ENLARGED DETAIL AT EAST SWING GATE**  
1/2" = 1'-0"



**2 ENLARGED SITE PLAN - FENCE AROUND COURTYARD**  
1/2" = 1'-0"



**1 ENLARGED SITE PLAN - WEST VEHICLE GATE**  
1/2" = 1'-0"

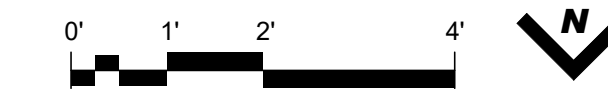
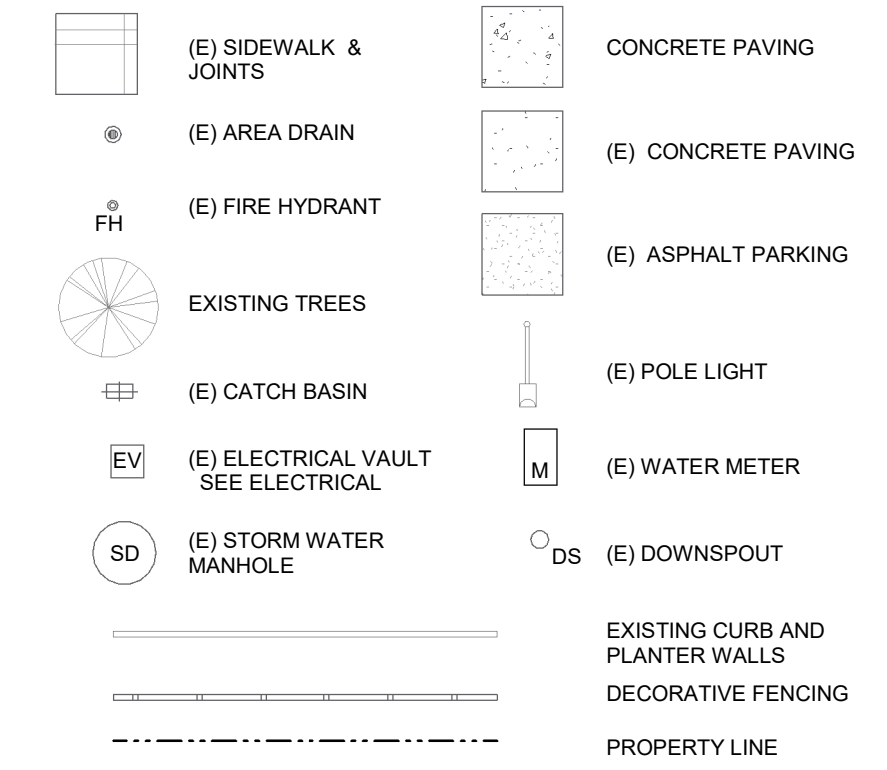
**KEYNOTES**

- 1 REINSTALL (E) WHEELSTOP. PROVIDE 2' MIN CLR FROM CENTERLINE OF WHEELSTOP TO VERTICAL ELEMENTS LIKE FENCING
- 2 (E) DECORATIVE FENCE POST. CORE MOUNTED INTO (E) CONCRETE CURB
- 5 INSTALL POST AND CONCRETE PIER IN (E) ASPHALT PAVING. COORDINATE LOCATION WITH ARCHITECT AND OWNER
- 6 INSTALL SALVAGED GATE HARDWARE FROM (E) GATE AT WEST ENTRANCE TO COURTYARD
- 7 DO NOT ATTACH TO (E) BUILDING. PROVIDE CANTILEVERED FENCING PANEL TO CLOSE GAP BETWEEN POST AND (E) BUILDING
- 8 NEW DOOR HARDWARE PROVIDED BY OWNER'S VENDOR. (E) EXTERIOR DOUBLE DOOR AND FRAME TO REMAIN
- 9 (E) DECORATIVE FENCE TO REMAIN
- 13 REPLANT SALVAGED PLANTS IN SAME LOCATION. IF PLANTINGS CANNOT BE REPLANTED, COORDINATE NEW PLANTINGS WITH OWNER. MODIFY EXISTING IRRIGATION AS A RESULT OF CONSTRUCTION

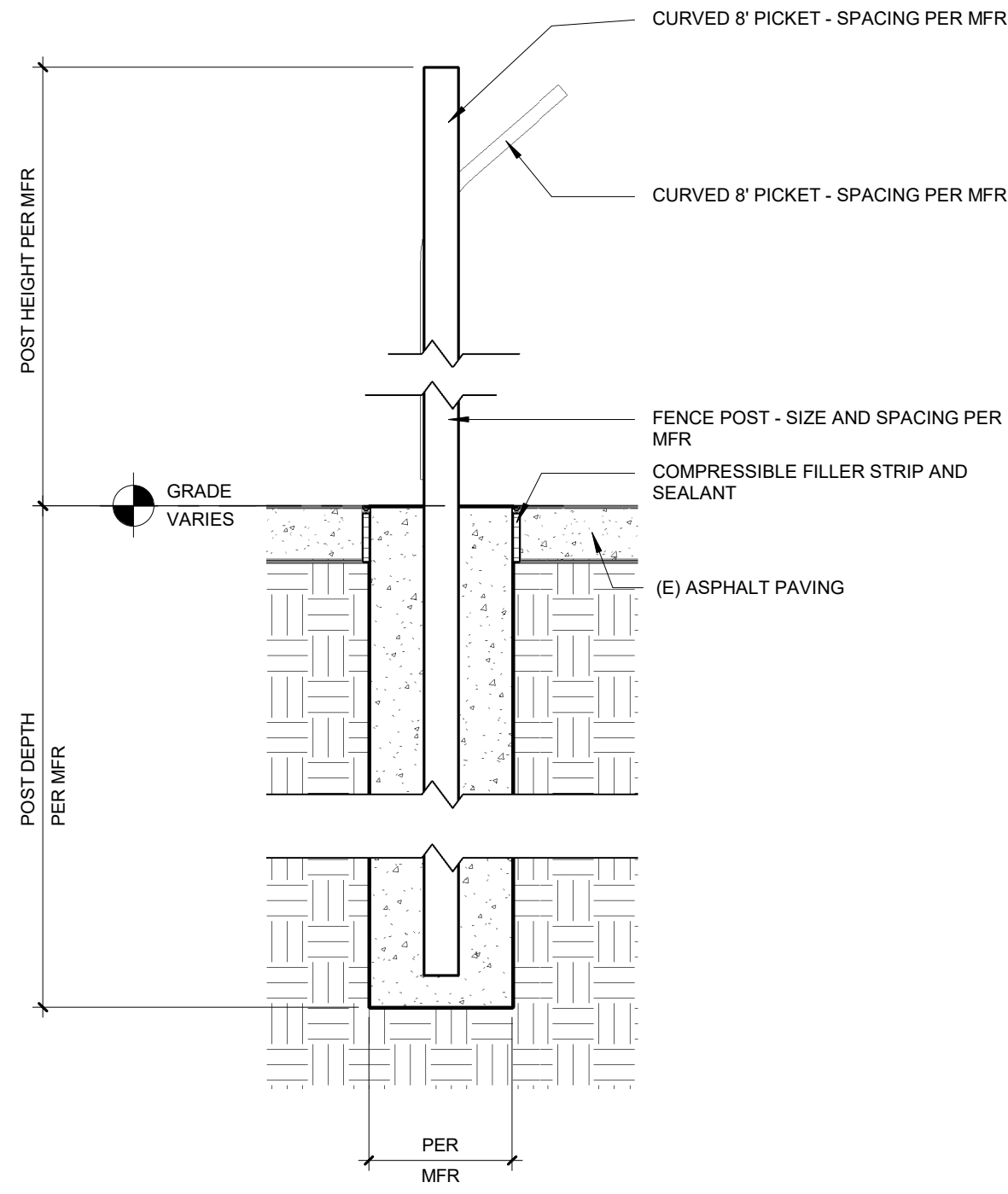
**KEYNOTE - SPECIFICATION**

- 03 3000-B CONCRETE PAD POURED ON TOP OF (E) PAVING. MIN 6" ABOVE GRADE AND SLOPED FOR DRAINAGE
- 03 3000-C CONCRETE PIER FOOTING. PER MFR. TROWEL TOP SMOOTH AND SLOPE TO GRADE
- 03 3000-F 4" DIA. GALVANIZED STEEL PIPE VEHICLE IMPACT BOLLARD, FILLED WITH CONCRETE AND PRIMED FOR FIELD PAINTING. TYP
- 05 5000-A STEEL PEDESTAL. SURFACE MOUNTED TO CONCRETE PIER
- 05 5000-B PEDESTAL MOUNTED CARD READER AND HOOD PROVIDED BY OWNER'S VENDOR. SEE ELECTRICAL AND LOW VOLTAGE FOR CONDUIT REQUIREMENTS
- 28 0000-A POST MOUNTED CARD READER. PROVIDED BY OWNER'S VENDOR. SEE ELEVATION FOR LOCATION COORDINATION. SEE ELECTRICAL AND LOW VOLTAGE FOR CONDUIT REQUIREMENTS
- 32 1200-A EXISTING ASPHALT PAVING
- 32 1313-A CONCRETE HOUSEKEEPING PAD FOR GATE OPERATOR
- 32 1313-C SIDEWALK PAVING
- 32 1313-D #4 REBAR @ 18" O.C. EACH WAY
- 32 3100-A 10' SLIDING CANTILEVER GATE
- 32 3100-B MOUNTING POST FOR CANTILEVER GATE - SIZE AND LOCATION PER MFR
- 32 3100-F SINGLE 3' - 6" SWING GATE
- 32 3100-G SWING GATE POST, PER MFR
- 32 3111-A GATE OPERATOR
- 32 3111-B IN-GROUND GATE OPERATING WIRE LOOP DETECTOR, PER GATE OPERATOR MFR. SEAL SAWCUT PAVING PER MFR INSTRUCTIONS
- 32 3119-A ORNAMENTAL SECURITY FENCE - 8' TALL
- 32 3119-B FENCE POST - SIZE AND SPACING PER MFR
- 32 3119-C CURVED 8' PICKET - SPACING PER MFR
- 32 3119-D HORIZONTAL FENCE RAIL - PER MFR AND SEE ELEVATIONS

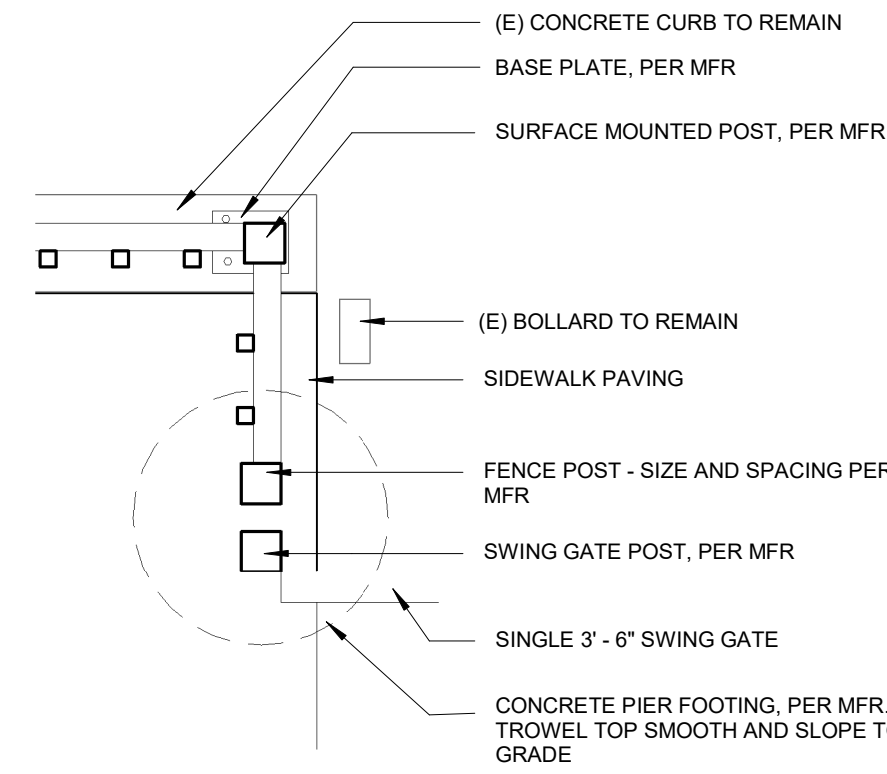
**LEGEND**





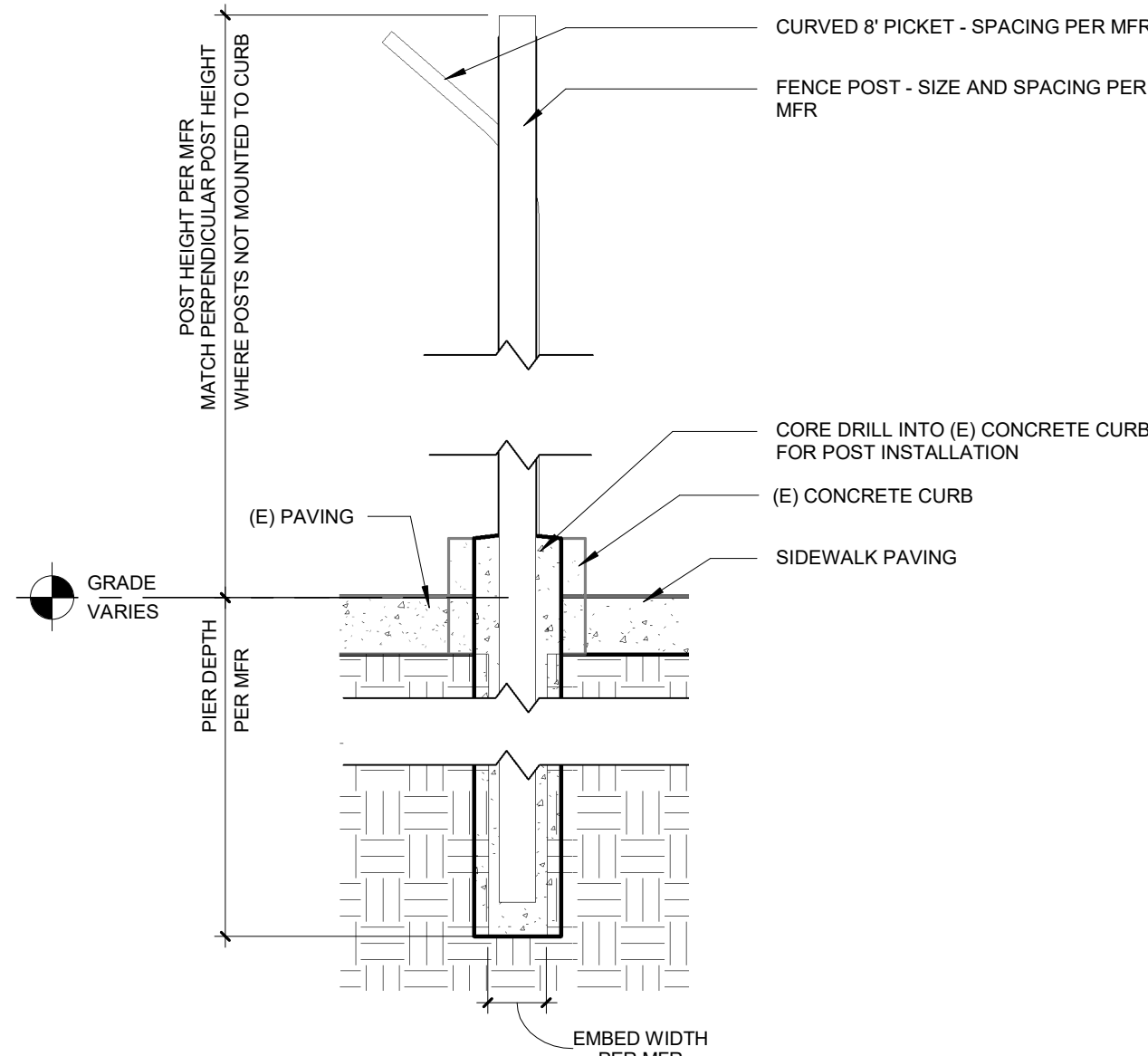


**6** COURTYARD FENCE ON CURB  
1" = 1'-0"

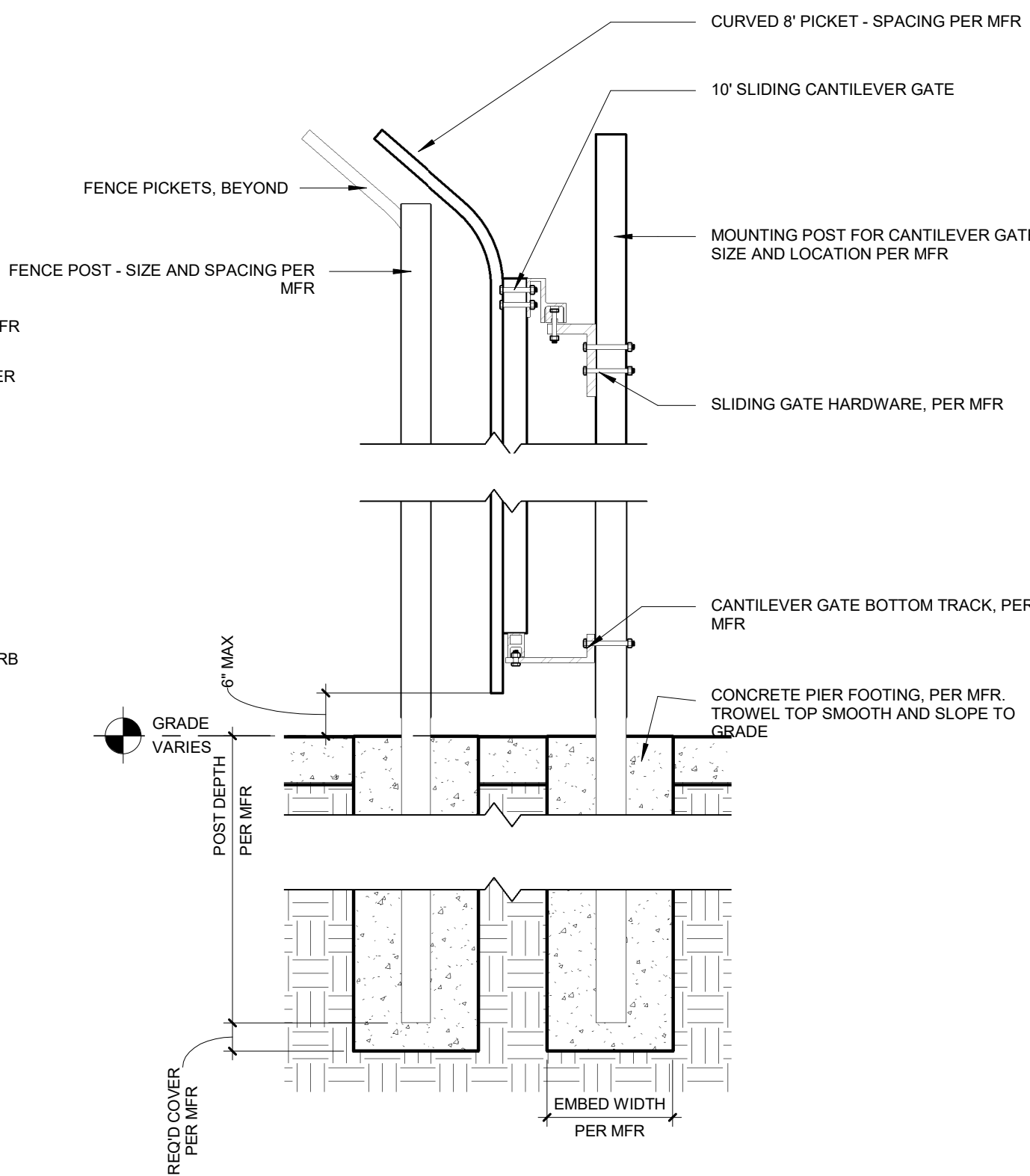


**5** COURTYARD FENCE CORNER  
1" = 1'-0"

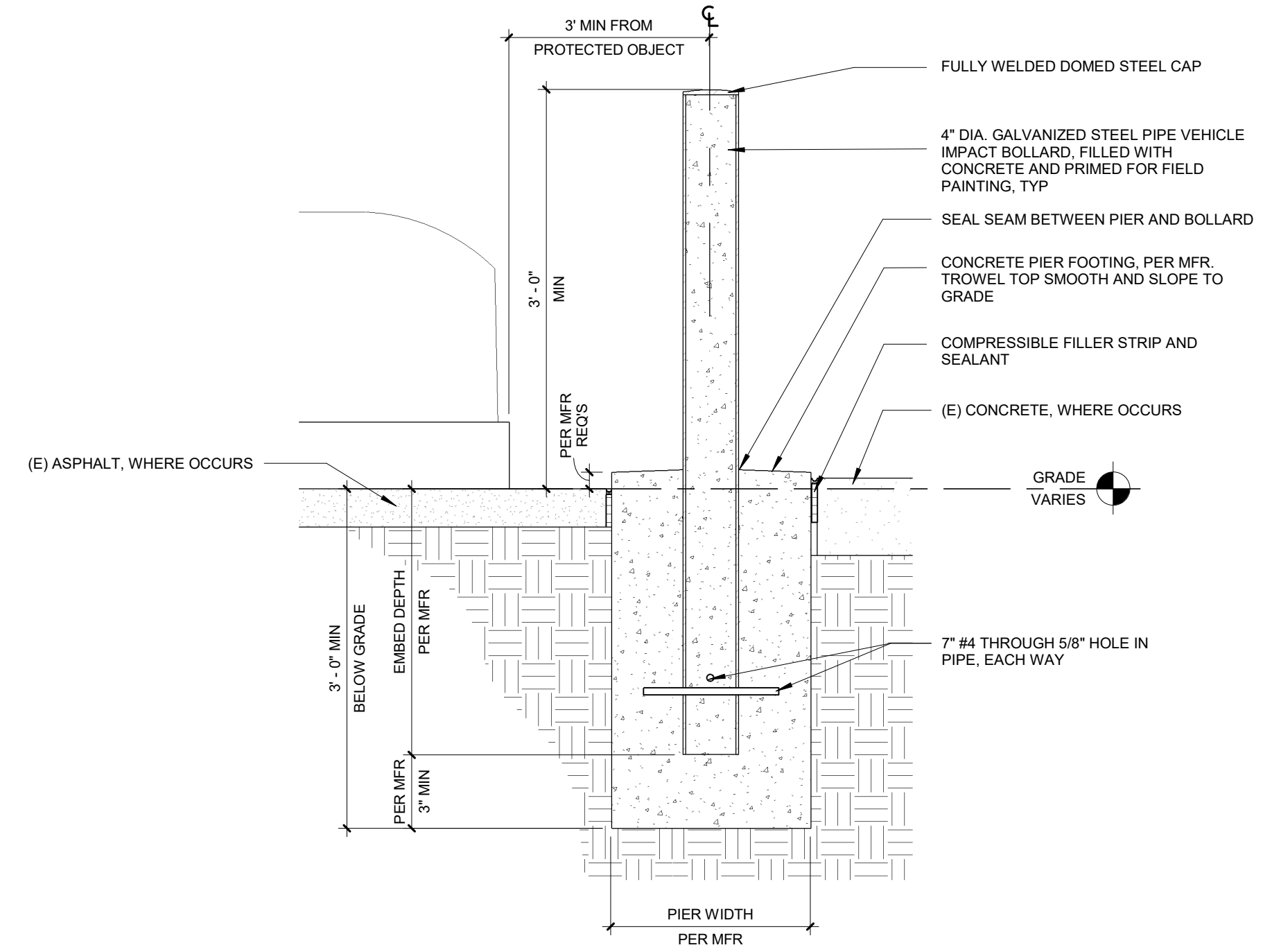
**8** POST IN PAVING - TYP  
1" = 1'-0"



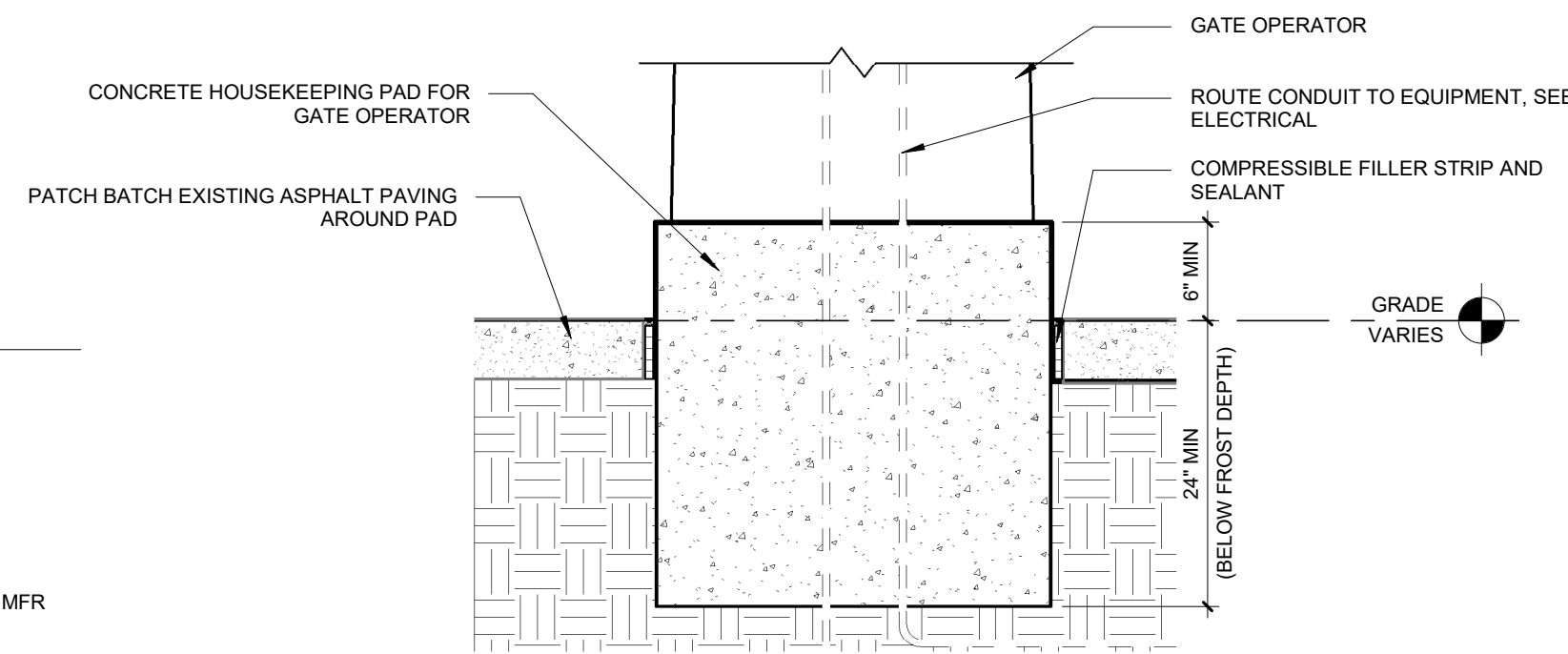
**7** POST IN CONCRETE CURB  
1" = 1'-0"



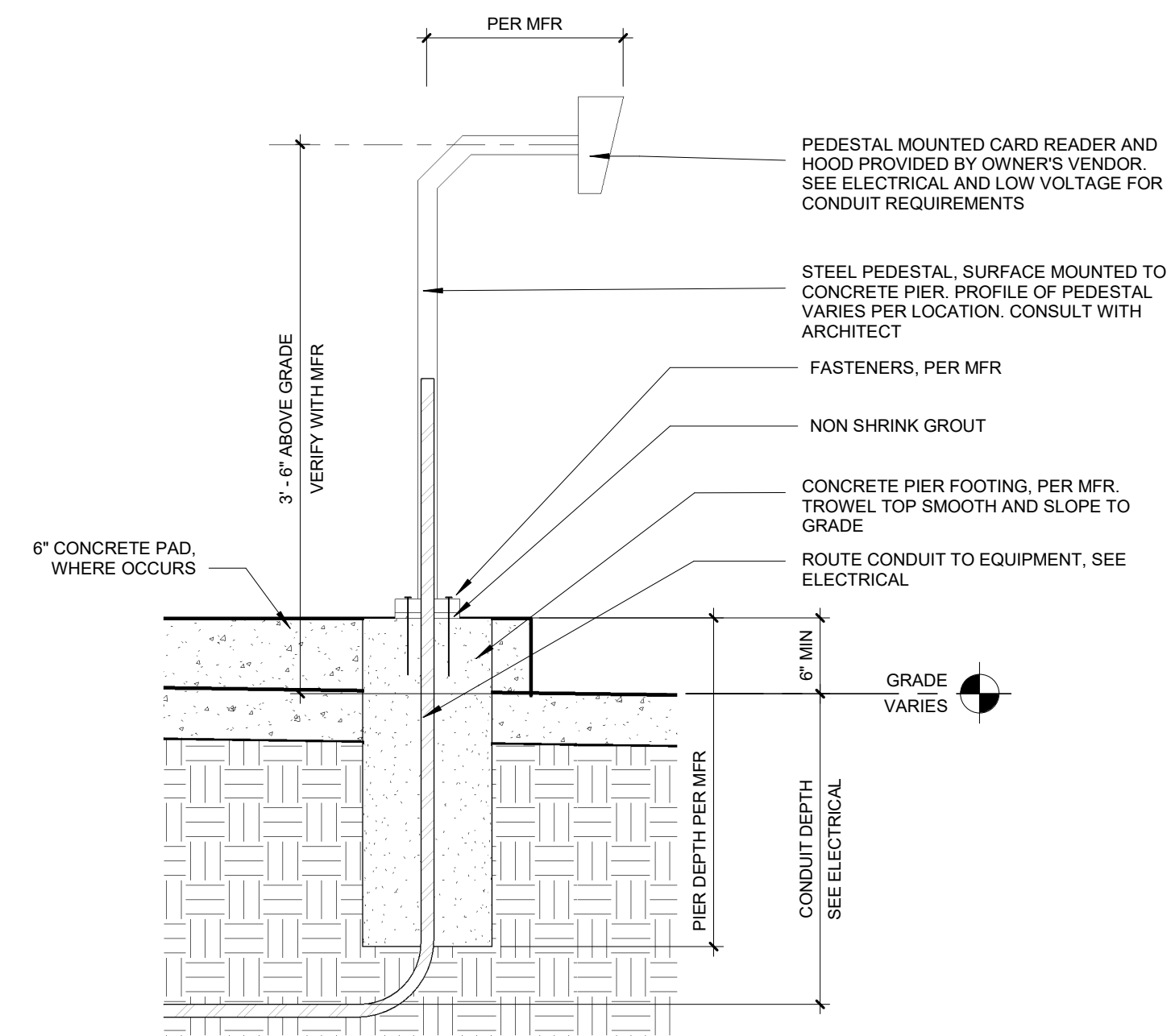
**4** SECTION THROUGH GATE AND FENCE POSTS  
1" = 1'-0"



**3** BOLLARD SECTION  
1" = 1'-0"

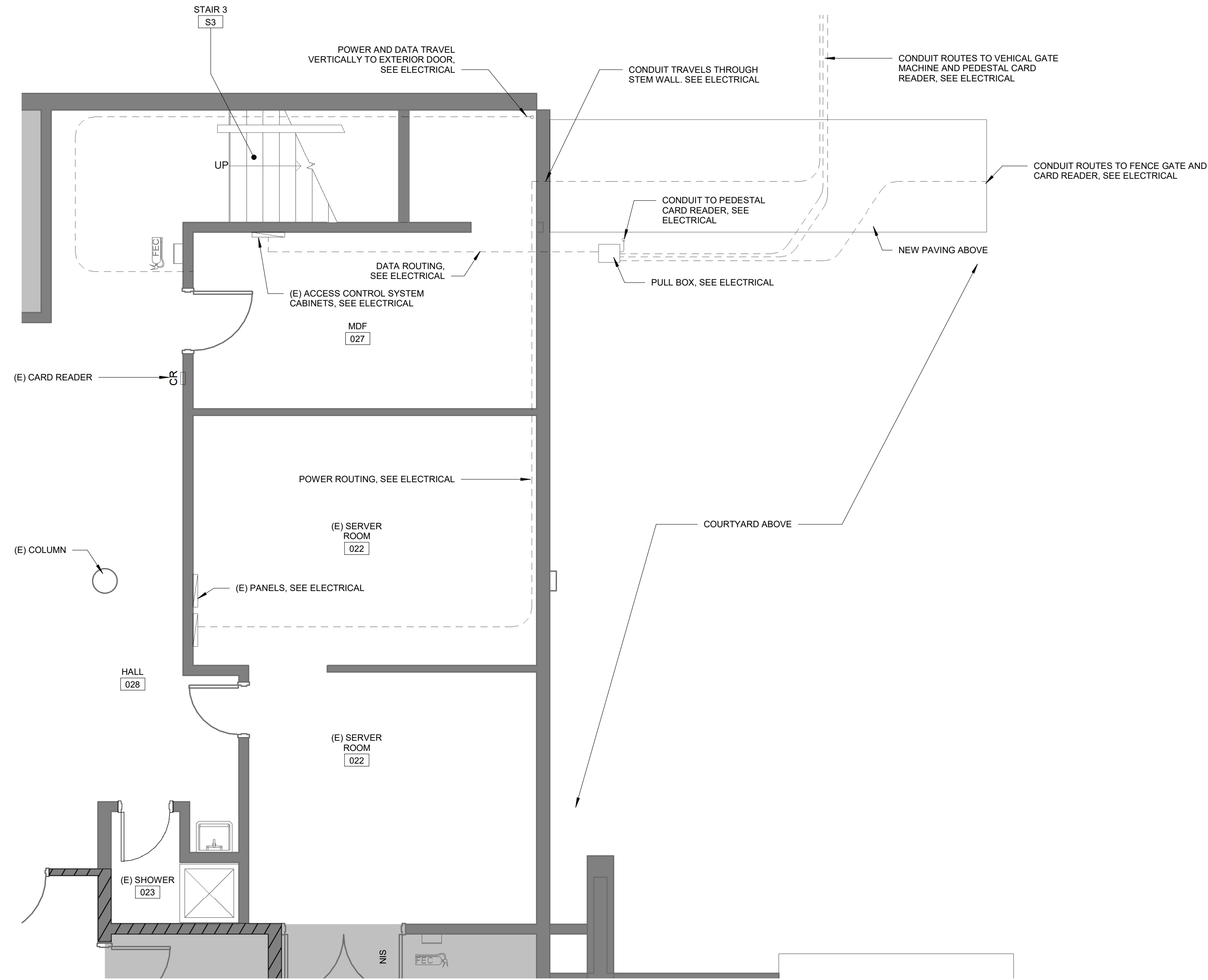


**2** GATE OPERATOR PAD  
1" = 1'-0"



**1** SECTION THROUGH VEHICLE CARD READER  
1" = 1'-0"

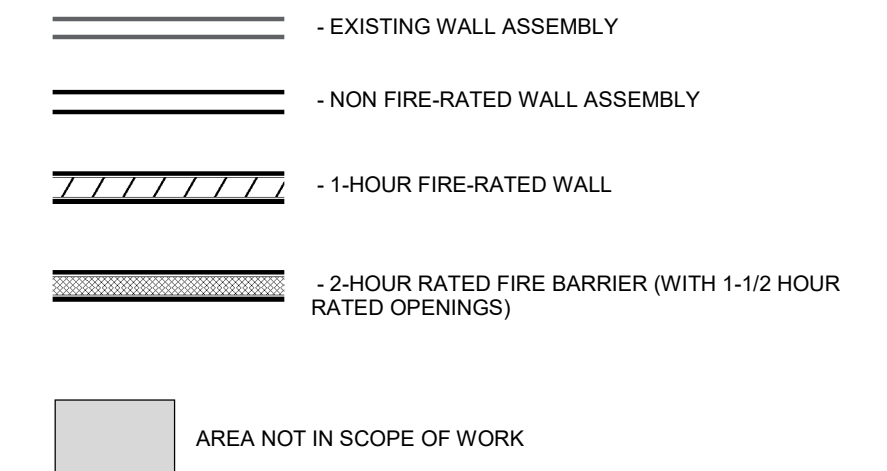




GENERAL NOTES - FLOOR PLANS

- A. DIMENSIONS SHOWN ARE TO THE FACE OF STUD, CONCRETE OR MASONRY UNLESS OTHERWISE NOTED. CONTACT THE ARCHITECT FOR ANY ADDITIONAL DIMENSIONS REQUIRED TO LAY OUT THE WORK.
- B. PATCH AND REPAIR ANY WALL LOCATIONS WHERE EXISTING WALL BASE HAS BEEN REMOVED WITHIN THE WORK AREA.
- C. REFER TO WALL LEGEND FOR WALL TYPES
- D. ALL EXISTING AND NEW WALLS, AND GYP. BD. CEILINGS IN WORK AREAS TO BE PAINTED.
- E. REPAIR PATCHED SURFACES THAT ARE DAMAGED, LIFTED, DISCOLORED, OR SHOWING OTHER IMPERFECTIONS DUE TO PATCHING WORK. IF DEFECTS ARE DUE TO CONDITION OF SUBSTRATE, REPAIR SUBSTRATE PRIOR TO REPAIRING FINISH.
- F. WHERE (E) FLOOR IS TO REMAIN, PROTECT FROM DAMAGE. PATCH AND REPAIR ANY HOLES IN CONCRETE SLAB CAUSED BY DEMOLITION OF EXISTING WALLS. (I.E. WALL ANCHORS).
- G. PATCH AND REPAIR ANY WALL AND CEILING LOCATIONS WHERE EXISTING ELECTRICAL AND VOICEDATA OUTLET, JUNCTION BOXES, AND SIMILAR WALL MOUNTED ITEMS ARE REMOVED OR ABANDONED WITHIN THE WORK AREA.
- H. PATCH AND REPAIR ANY WALL LOCATIONS WHERE EXISTING EQUIPMENT, ACCESSORIES, HARDWARE OR OTHER SURFACE MOUNTED ELEMENTS HAVE BEEN REMOVED WITHIN THE WORK AREA.

WALL FILL PATTERNS:

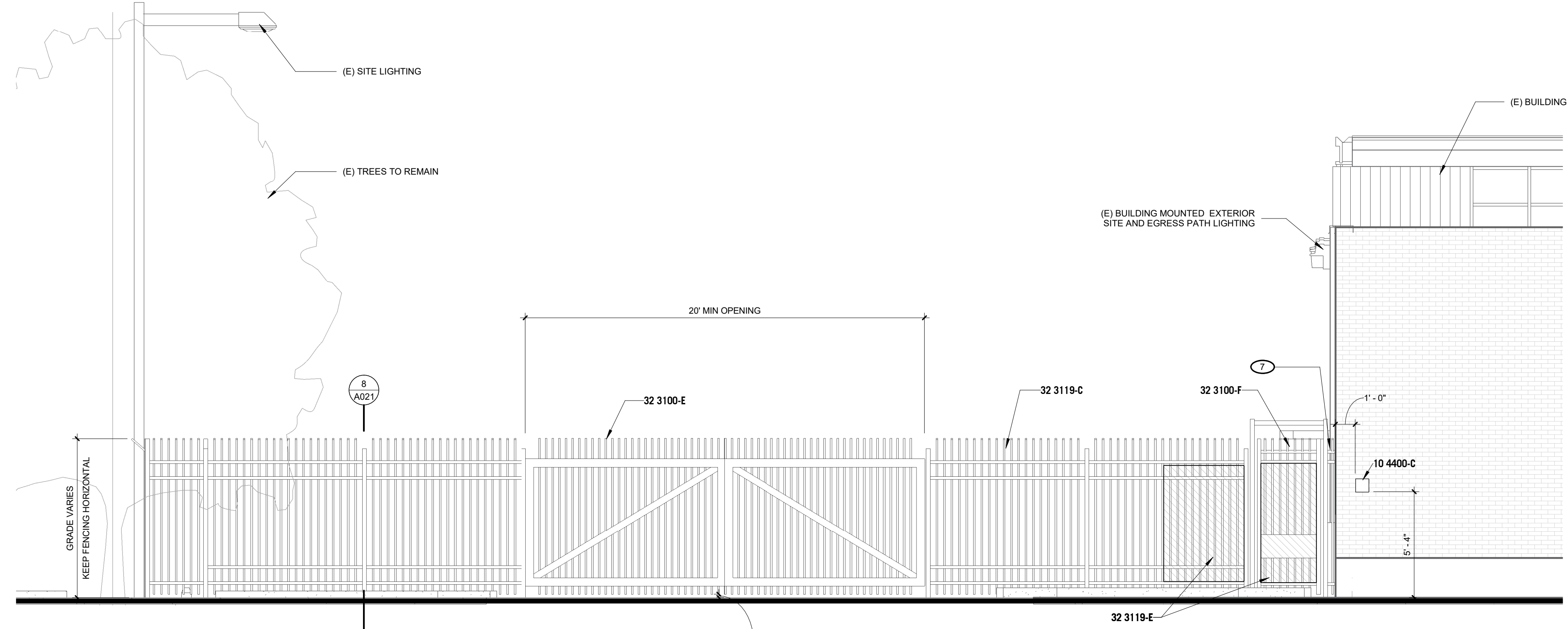


1 FLOOR PLAN - LOWER LEVEL  
1/4" = 1'-0"

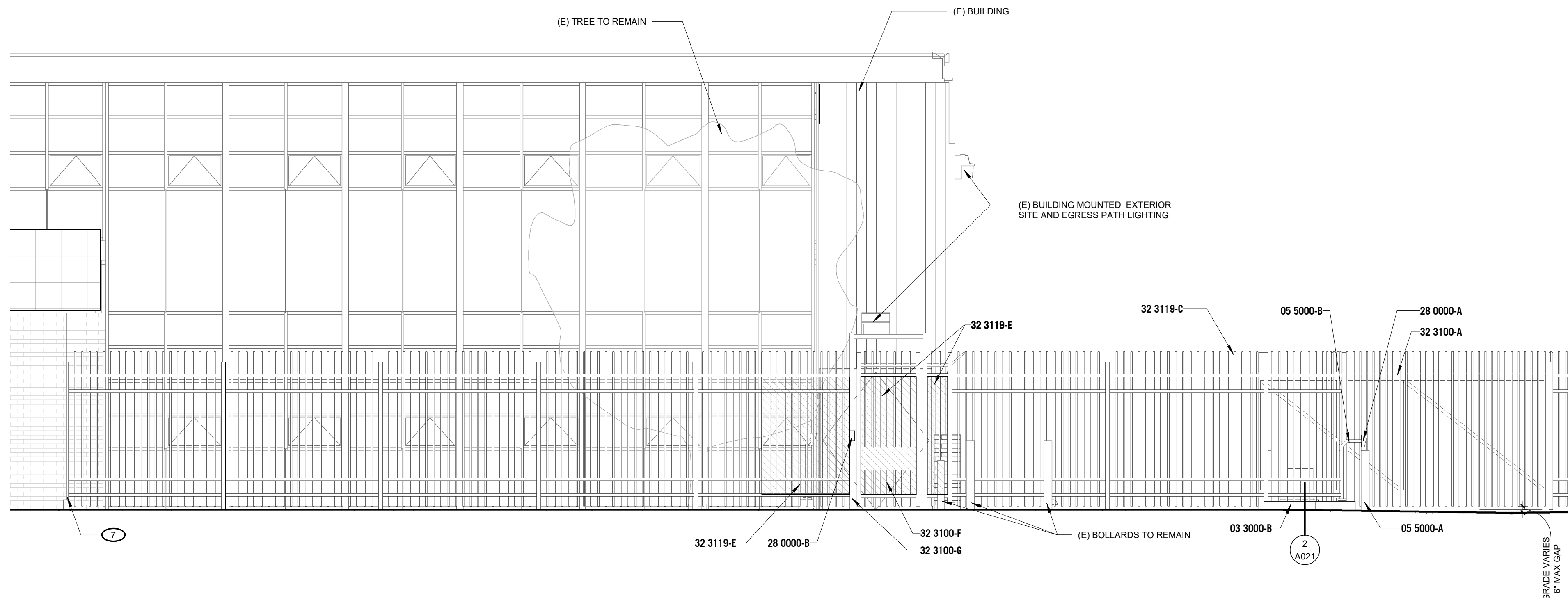




SCALE OF 11 x 17 SHEETS IS HALF OF SCALE INDICATED



**2 EAST ELEVATION**  
1/4" = 1'-0"



**1 WEST ELEVATION**  
1/4" = 1'-0"

**GENERAL NOTES - EXTERIOR ELEV.**

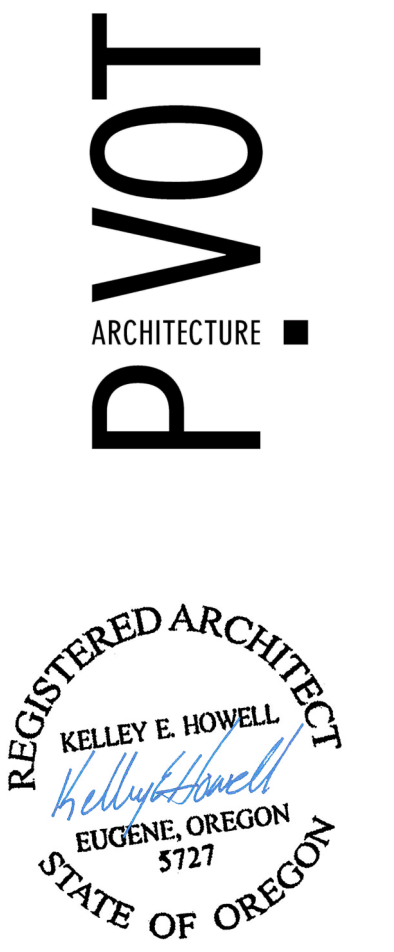
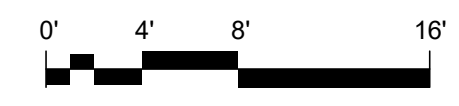
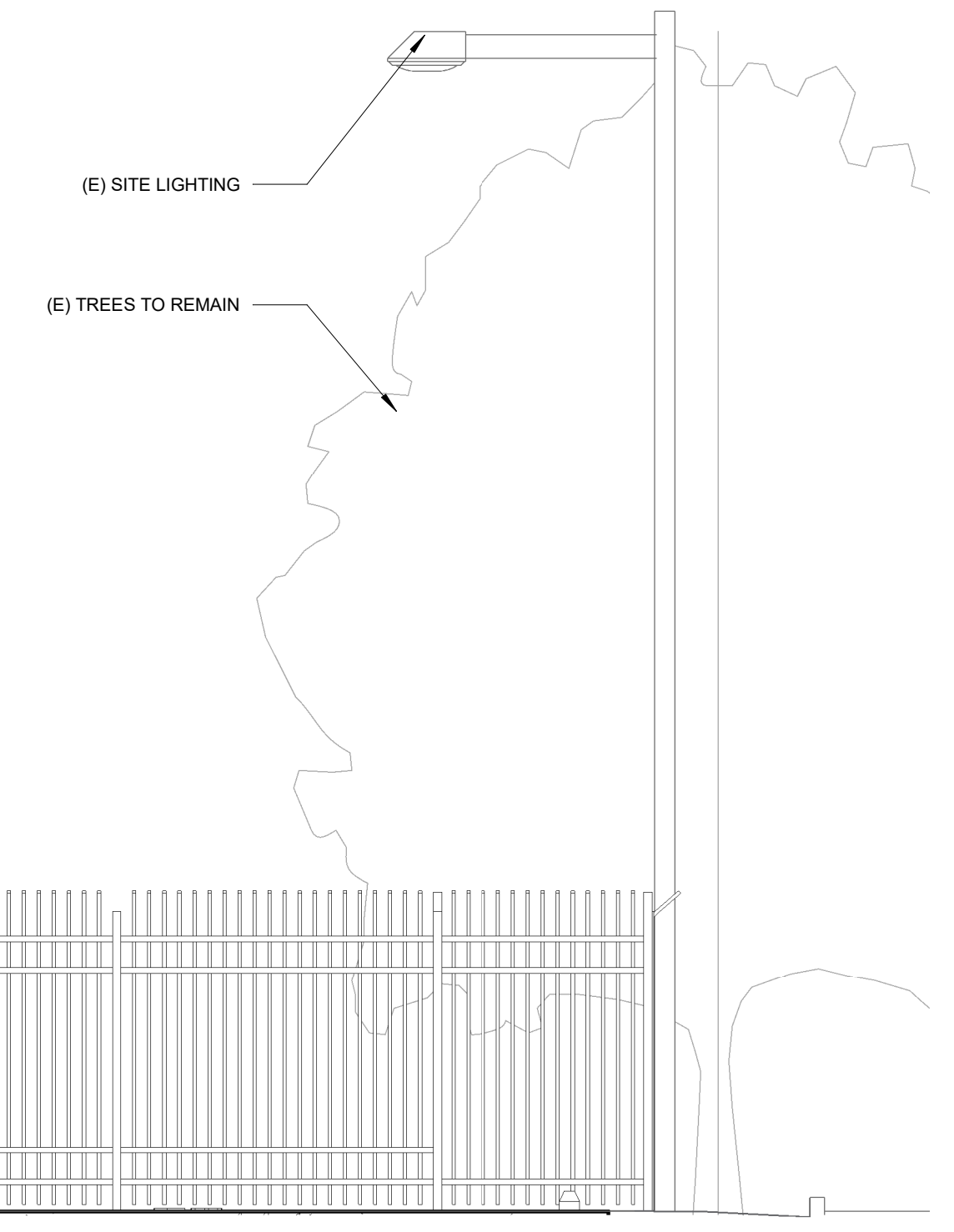
- A. DO NOT ATTACH FENCING TO EXISTING BUILDING IN ANY LOCATION. SEE DETAILS AND CONFER WITH OWNER AND ARCHITECT
- B. GRADE VARIES. MAINTAIN 6" MAX GAPS AT BOTTOM OF FENCES AND GATES.

**KEYNOTES**

- 7 DO NOT ATTACH TO (E) BUILDING. PROVIDE CANTILEVERED FENCING PANEL TO CLOSE GAP BETWEEN POST AND (E) BUILDING

**KEYNOTE - SPECIFICATION**

- 03 3000-B CONCRETE PAD POURED ON TOP OF (E) PAVING, MIN 6" ABOVE GRADE AND SLOPED FOR DRAINAGE
- 05 5000-A 4" DIA. GALVANIZED STEEL PIPE VEHICLE IMPACT BOLLARD, FILLED WITH CONCRETE AND PRIMED FOR FIELD PAINTING, TYP
- 05 5000-B STEEL PEDESTAL, SURFACE MOUNTED TO CONCRETE PIER
- 10 4400-C WALL MOUNTED FIRE DEPARTMENT LOCK BOX
- 28 0000-A PEDESTAL MOUNTED CARD READER AND HOOD PROVIDED BY OWNER'S VENDOR. SEE ELECTRICAL AND LOW VOLTAGE FOR CONDUIT REQUIREMENTS
- 28 0000-B POST-MOUNTED CARD READER, PROVIDED BY OWNER'S VENDOR. SEE ELEVATION FOR LOCATION COORDINATION. SEE ELECTRICAL AND LOW VOLTAGE FOR CONDUIT REQUIREMENTS
- 32 3100-A 10' SLIDING CANTILEVER GATE
- 32 3100-E PROVIDE TWO 10' CANTILEVERED MANUAL SWINGING GATES WITH CANE BOLT LATCHING HARDWARE
- 32 3100-F SINGLE 3'-6" SWING GATE
- 32 3100-G SWING GATE POST, PER MFR
- 32 3119-C CURVED 8' PICKET - SPACING PER MFR
- 32 3119-E SECURITY SCREEN ATTACHED TO GATE AND FENCE TO PREVENT INTRUSION, PER MFR RECOMMENDED LAYOUT AND SPACING



CONSTRUCTION DOCUMENTS  
**SERVICE CENTER SECURITY FENCE**  
 HOMES FOR GOOD  
 100 WEST 18TH AVENUE  
 EUGENE, OR 97401

SHEET TITLE:  
**WEST AND EAST ELEVATION**

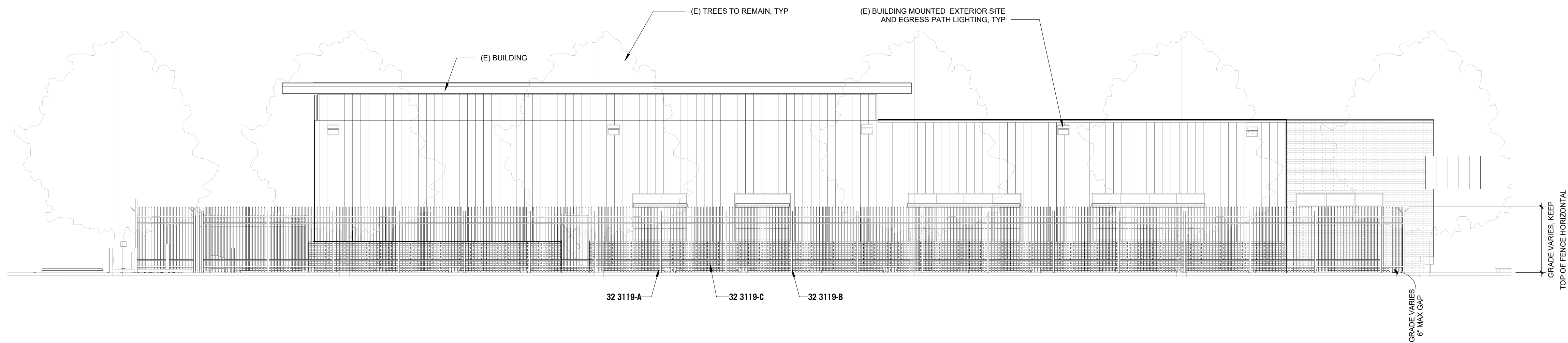
REVISIONS:

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ISSUE DATE: 04/25/2022

**A201**





**1** SOUTH ELEVATION  
1/8" = 1'-0"

**GENERAL NOTES - EXTERIOR ELEV.**

- A. DO NOT ATTACH FENCING TO EXISTING BUILDING IN ANY LOCATION. SEE DETAILS AND CONFER WITH OWNER AND ARCHITECT
- B. GRADE VARIES. MAINTAIN 6" MAX GAPS AT BOTTOM OF FENCES AND GATES.

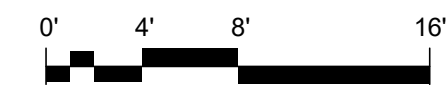
**KEYNOTE - SPECIFICATION**

- 32 3119-A ORNAMENTAL SECURITY FENCE - 8' TALL
- 32 3119-B FENCE POST - SIZE AND SPACING PER MFR
- 32 3119-C CURVED 8' PICKET - SPACING PER MFR

**KEYNOTES**

REVISIONS:

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**GENERAL NOTES - ELECTRICAL**

- A. COORDINATE LOCATION/INSTALLATION OF ELECTRICAL WORK WITH ALL OTHER TRADES. NO ASPECT OF A SYSTEM INSTALLATION OR ITS ROUGH-IN SHALL COMMENCE UNTIL PROPER AND TIMELY COORDINATION WITH ALL TRADES ASSOCIATED WITH THE INSTALLATION HAS OCCURRED.
- B. NOTE THAT THE ELECTRICAL DRAWINGS ARE ONLY A PORTION OF THE COMPLETE SET OF PLANS AND THE CONTRACT DOCUMENTS. THE COMPLETE SET OF CONTRACT DOCUMENTS SHALL BE USED TO DEFINE THE ELECTRICAL SCOPE OF WORK. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, USING THE ARCHITECTURAL PLANS FOR DIMENSIONS AND DETAILS, EQUIPMENT PLANS FOR ROUGH-IN REQUIREMENTS, AND THE SECURITY SYSTEM PLANS. ANY REWORK OF INSTALLED EQUIPMENT OR SYSTEMS WILL BE AT THE CONTRACTOR'S EXPENSE.

**CODE NOTES - ELECTRICAL**

- A. THE ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES.
- B. THE CURRENT ADOPTED EDITION OF THE OREGON ELECTRICAL SPECIALTY CODE SHALL BE THE STANDARD FOR THE ELECTRICAL INSTALLATION. VERIFY WITH LOCAL OFFICIALS WHEN PERMITS ARE OBTAINED. NOTIFY DESIGN TEAM OF ANY DISCREPANCIES BETWEEN THE PROJECT MANUAL OR DRAWINGS AND THE GOVERNING CODE.
- C. INSTALLATION SHALL FOLLOW ALL REQUIREMENTS OF THE 2009 ICC A117.2 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES.
- D. REFER TO PROJECT MANUAL AND PROJECT CODE REVIEW SHEET FOR LIST OF APPLICABLE CODES.



**INSTALLATION NOTES - ELECTRICAL**

- A. CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS PRIOR TO BID.
- B. RACEWAYS AND BOXES ARE SHOWN DIAGRAMMATICALLY ONLY AND INDICATE THE GENERAL AND APPROXIMATE LOCATION. THE LAYOUT DOES NOT NECESSARILY SHOW THE TOTAL NUMBER OF RACEWAYS OR BOXES FOR THE CIRCUITS REQUIRED, NOR ARE THE LOCATIONS OF INDICATED RUNS INTENDED TO SHOW THE ACTUAL ROUTING OF THE RACEWAYS.
- C. CONTRACTOR IS RESPONSIBLE FOR MODIFYING CONDUIT, HANGERS, CIRCUITING, ETC. TO PROVIDE A COMPLETE AND OPERATIONAL SYSTEM.
- D. PROVIDE A DEDICATED GREEN INSULATED GROUND CONDUCTOR TO ALL DEVICES. THE CONDUIT SYSTEM SHALL NOT BE USED AS THE ONLY EQUIPMENT GROUNDING METHOD.
- E. BALANCE THE LOAD ON PANELS AS EVENLY AS POSSIBLE DURING INSTALLATION. CIRCUIT NUMBERING SHOWN ON PLANS MAY BE ADJUSTED.
- F. PROVIDE FINAL TYPED PERMANENT PANEL DIRECTORY AT PROJECT COMPLETION.
- G. CONTRACTOR IS RESPONSIBLE FOR OPENINGS IN WALLS CREATED BY THEIR WORK. PENETRATIONS SHALL BE SEALED IN ACCORDANCE WITH THE RATINGS OF THE AFFECTED WALL. OPENINGS IN EXTERIOR WALLS SHALL BE MADE WATERTIGHT. REFER TO ARCHITECTURAL CODE PLAN FOR RATED WALLS.














**ELECTRICAL ABBREVIATIONS**

A	DEVICE MOUNTED +8" ABOVE COUNTER TOP (VERIFY LOCATION)	NIC	NOT IN CONTRACT
AFF	ABOVE FINISHED FLOOR	NM	NONMETALLIC
ATS	AUTOMATIC TRANSFER SWITCH	NTS	NOT TO SCALE
C	CEILING	OC	ON CENTER
CB	CIRCUIT BREAKER	OFCL	OWNER FURNISHED
CT	CURRENT TRANSFORMER	OFOL	CONTRACTOR INSTALLED
E	EXISTING ITEM TO REMAIN		OWNER FURNISHED, OWNER INSTALLED
EC	ELECTRICAL CONTRACTOR	R	EXISTING ITEM TO BE REMOVED
EM	EMERGENCY LIGHT FIXTURE	RR	EXISTING ITEM TO BE REMOVED AND RELOCATED
ER	NEW LOCATION OF EXISTING ITEM		
F	ROUGH IN FOR FUTURE DEVICE	RN	EXISTING ITEM TO BE REMOVED AND REPLACED WITH NEW
FAAP	FIRE ALARM ANNUNCIATOR PANEL		
FACP	FIRE ALARM CONTROL PANEL	SCCR	SHORT CIRCUIT CURRENT RATING
FSD	FIRE SMOKE DAMPER	T	TAMPER PROOF DEVICE
G	GROUND FAULT CIRCUIT INTERRUPTER	TCC	TEMPERATURE CONTROL CONTRACTOR
GND	GROUND	TV	TELEVISION
KVA	KILO-VOLT-AMPERES	TYP	TYPICAL
KW	KILOWATTS	UPS	UNINTERRUPTIBLE POWER SUPPLY
MC	MECHANICAL CONTRACTOR	V	VOLTS
MCB	MAIN CIRCUIT BREAKER	VA	VOLT-AMPERES
MDP	MAIN DISTRIBUTION PANEL	WG	WIREGUARD COVER
MLO	MAIN LUGS ONLY	WP	WEATHER-PROOF DEVICE
N	NEW DEVICE IN EXISTING LOCATION	WR	WEATHER RESISTANT DEVICE
		+24"	INDICATES MOUNTING HEIGHT CENTER LINE OF DEVICE TO FINISHED FLOOR

**POWER SYMBOLS**

-  PANELBOARD - SURFACE MOUNTED
-  DISTRIBUTION PANELBOARD/SWITCHBOARD - SURFACE MOUNTED AS NOTED.

**GENERAL SYMBOLS**

-  CONDUIT SLEEVE
-  CONDUIT UP, REFER TO TAG ON DRAWING FOR SIZE
-  CONDUIT DOWN, REFER TO TAG ON DRAWING FOR SIZE
-  JUNCTION BOX, CEILING OR FLOOR MOUNTED.
-  JUNCTION BOX, WALL MOUNTED, ELEVATION AS NOTED.
-  CIRCUIT HOMERUN, CONCEALED CONDUIT OR CABLE
-  CIRCUIT HOMERUN, UNDER FLOOR CONDUIT OR CABLE
-  KITCHEN EQUIPMENT TAG NUMBER, REFER TO KITCHEN EQUIPMENT CONNECTION SCHEDULE
-  KEYNOTE
-  EQUIPMENT IDENTIFICATION TAG. REFER TO EQUIPMENT CONNECTION SCHEDULE
-  SIM DETAIL DRAWING REFERENCE TAG, SIM-SIMILAR, TYP-TYPICAL, OPP-OPPOSITE SHEET REFERENCE
-  SIM SECTION CUT REFERENCE TAG, SIM-SIMILAR, TYP-TYPICAL, OPP-OPPOSITE SHEET REFERENCE
-  INTERIOR ELEVATION DRAWING REFERENCE TAG

\*\*NOTE: ALL SYMBOLS MAY NOT APPLY TO THIS PROJECT\*\*



EXPIRES: 6/30/2023

298 E. 5th Ave,  
Suite 501  
Eugene OR 97401  
503-212-4612

SHEET TITLE:

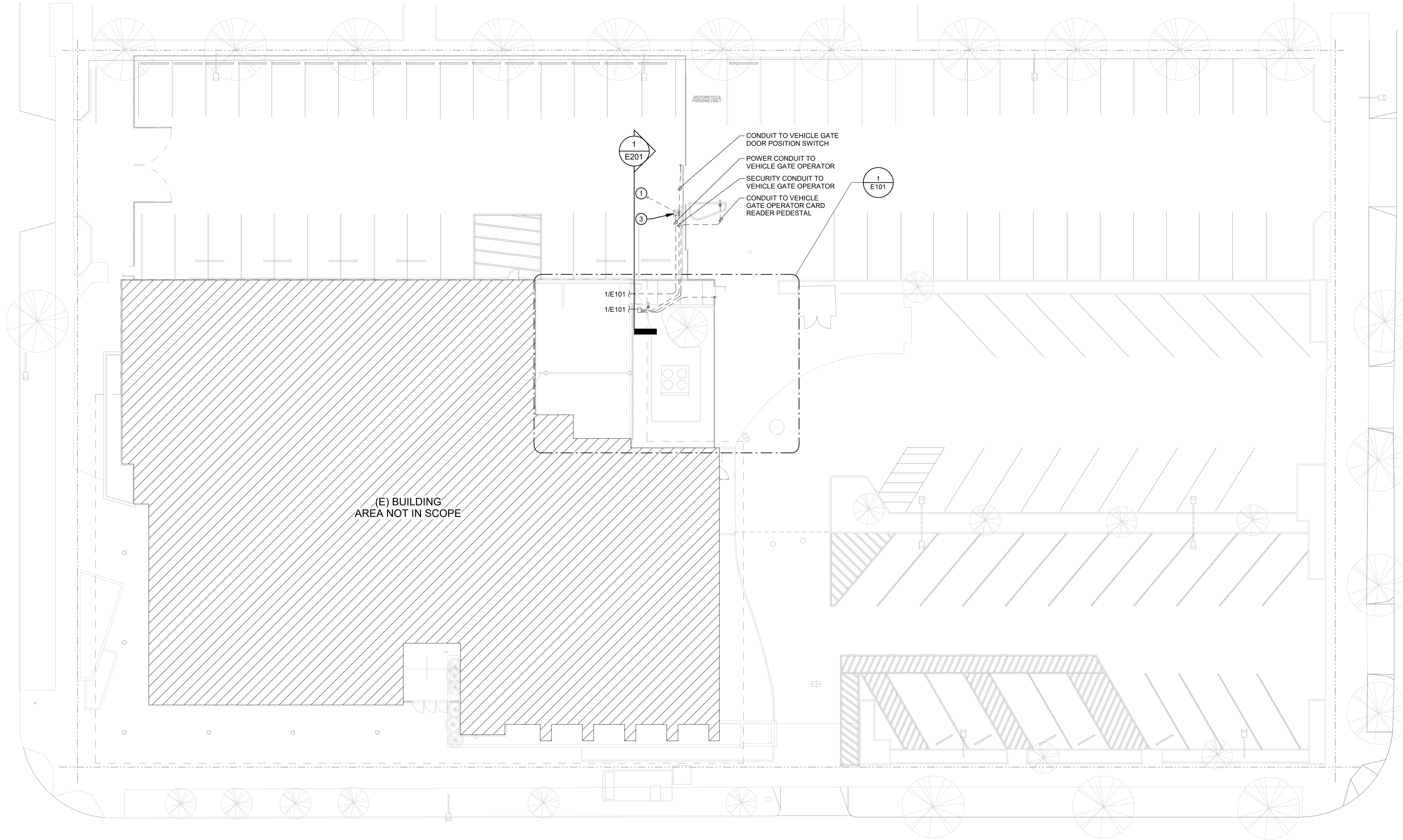
**ELECTRICAL  
GENERAL  
NOTES &  
SYMBOLS**

REVISIONS:

#	DESCRP.	DATE
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ISSUE DATE: 04/22/2022





**GENERAL NOTES**

- A. CONFIRM SECURITY CONDUIT INSTALLATION REQUIREMENTS WITH SECURITY SYSTEM CONTRACTOR PRIOR TO ROUGH-IN. PROVIDE SHOP DRAWINGS OF FINAL CONDUIT ROUTING FOR REVIEW BY ARCHITECT AND ENGINEER PRIOR TO ROUGH-IN.
- B. REFER TO ELECTRICAL TRENCH DETAIL 2/E201 FOR BELOW-GRADE CONDUIT INSTALLATION REQUIREMENTS.
- C. CAP, MARK, AND PROTECT SECURITY SYSTEM CONDUITS FOR SECURITY SYSTEM INSTALLATION. PROVIDE EACH WITH NYLON PULL STRING.
- D. PROVIDE REQUIRED SAWCUT/TRENCH AND PATCH WORK FOR INSTALLATION OF ELECTRICAL CONDUITS AND REPAIR OF AFFECTED PAVED SURFACES AND LANDSCAPING. REFER TO ARCHITECTURAL DOCUMENTS FOR ADDITIONAL REQUIREMENTS.

**KEYNOTES** #

- 1. CONDUIT PATHWAY TO GATE OPERATOR INDUCTION LOOP. CONFIRM ROUTING AND REQUIREMENTS WITH GATE OPERATOR INSTALLER PRIOR TO ROUGH-IN. MOTORIZED GATE OPERATOR. PROVIDE SYSTEM GROUNDING, CONDUIT PATHWAYS, LOW VOLTAGE WIRING, AND CONNECTIONS AS REQUIRED BY THE MANUFACTURER FOR A COMPLETE AND OPERATIONAL SYSTEM. CONNECT TO NEW CIRCUIT IN PANEL K2. PROVIDE (2) 10AWG PHASE/NEUTRAL CONDUCTORS AND (1) 12 AWG GND IN (1) 3/4" C.
- 2. COORDINATE CONDUIT STUB UP LOCATIONS WITH SUBMITTED AND APPROVED GATE MOTOR OPERATOR MANUFACTURER PRIOR TO ROUGH-IN. MAINTAIN CODE-REQUIRED SEPARATION BETWEEN LOW VOLTAGE AND LINE VOLTAGE CONDUCTORS AND TERMINATIONS.



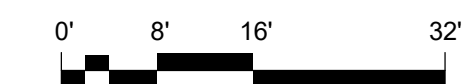
EXPIRES: 6/30/2023

298 E. 5th Ave,  
Suite 501  
Eugene OR 97401  
503-212-4612

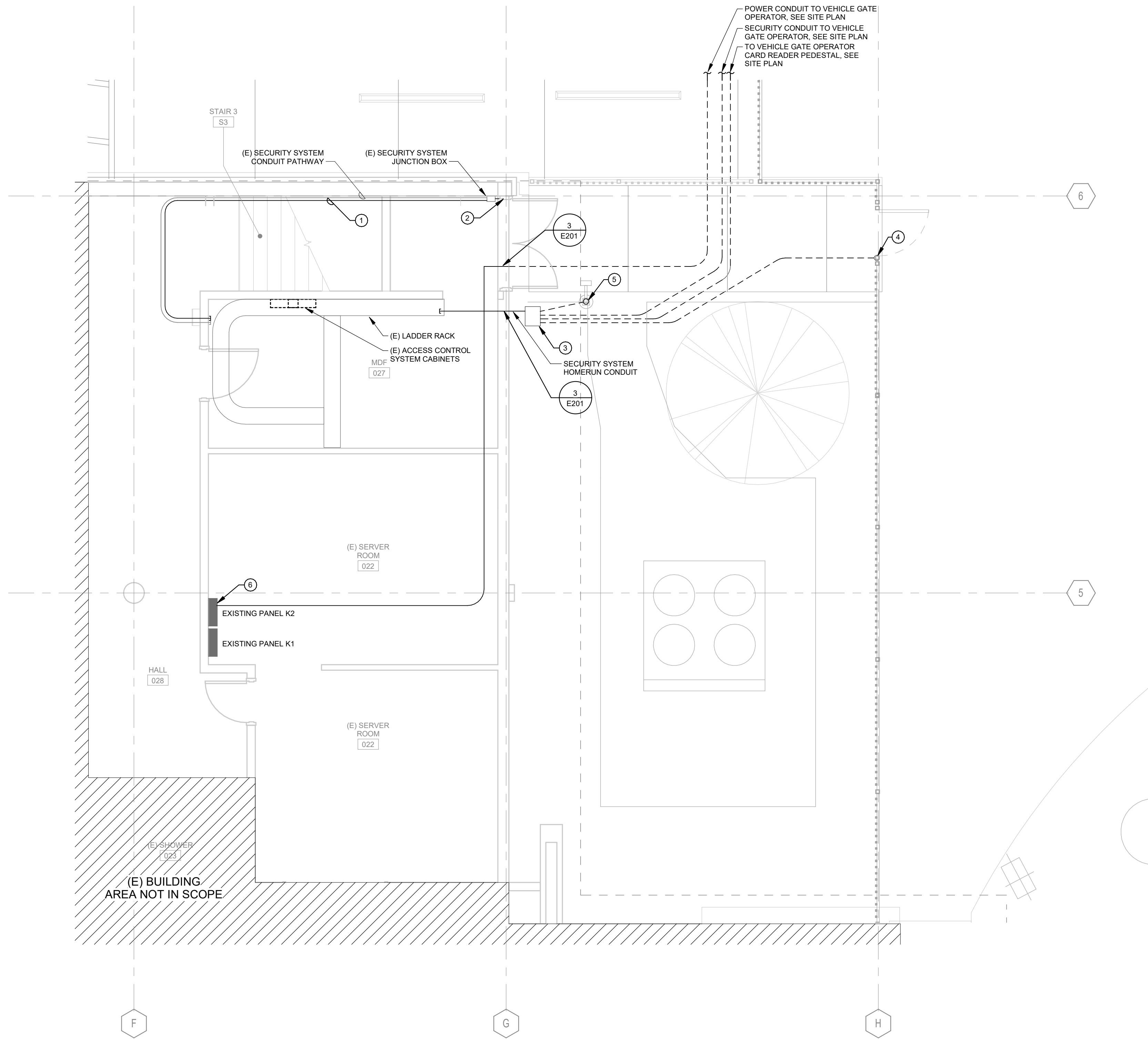
REVISIONS:

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**1 ELECTRICAL SITE PLAN**  
1/16" = 1'-0"





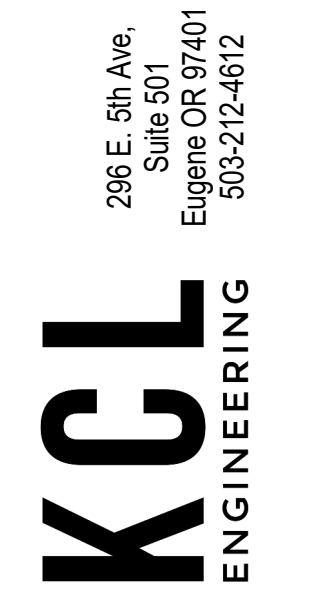
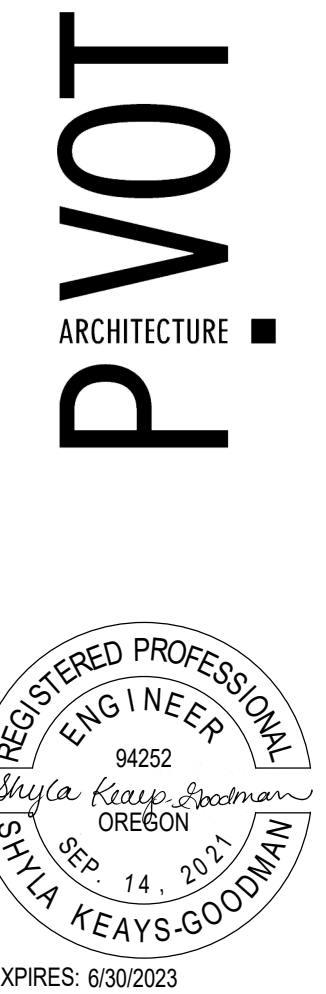


**GENERAL NOTES**

- A. CONFIRM SECURITY CONDUIT INSTALLATION REQUIREMENTS WITH OWNER'S SEPARATE SECURITY SYSTEM CONTRACTOR PRIOR TO ROUGH-IN.
- B. PROVIDE SHOP DRAWINGS OF FINAL CONDUIT ROUTING FOR REVIEW BY ARCHITECT AND ENGINEER PRIOR TO ROUGH-IN.
- C. REFER TO ELECTRICAL TRENCH DETAIL 2/E201 FOR BELOW-GRADE CONDUIT INSTALLATION REQUIREMENTS.
- D. CAP, MARK, AND PROTECT SECURITY SYSTEM CONDUITS FOR SECURITY SYSTEM INSTALLATION. PROVIDE EACH WITH NYLON PULL STRING.
- E. PROVIDE REQUIRED SAWCUT/TRENCH AND PATCH WORK FOR INSTALLATION OF ELECTRICAL CONDUITS AND REPAIR OF AFFECTED PAVED SURFACES AND LANDSCAPING. REFER TO ARCHITECTURAL DOCUMENTS FOR ADDITIONAL REQUIREMENTS.
- F. COORDINATE ALL INTERIOR WORK WITH OWNER. CONTRACTOR MUST BE ACCOMPANIED BY OWNER'S REPRESENTATIVE WHILE WORKING IN ELECTRICAL ROOMS.

**KEYNOTES**

- 1. PROVIDE 1" FROM ABOVE CABLE TRAY IN MDF TO EXISTING SECURITY SYSTEM JUNCTION BOX.
- 2. PROVIDE 1" PATHWAY FROM EXISTING SECURITY SYSTEM JUNCTION BOX TO WITHIN DOOR FRAME. CORE DRILL DOOR FRAME TO SERVE NEW ELECTRIFIED HINGE AND DOOR POSITION SWITCH. PROVIDE NYLON PULL STRING FOR USE BY SECURITY SYSTEM INSTALLER. COORDINATE ROUGH-IN SIZE AND LOCATION WITH SECURITY SYSTEM CONTRACTOR AND ARCHITECT PRIOR TO DRILLING HOLES.
- 3. PROVIDE 11" X 17" CONCRETE SITE PULL BOX. STAMP LID "TELECOM". CONFIRM LOCATION WITH OWNER AND ARCHITECT PRIOR TO ROUGH-IN.
- 4. STUB CONDUIT WITHIN PERSONNEL GATE FENCE POST TO SERVE CARD READER AND ELECTRIC STRIKE. REFER TO DETAIL 1/E201 FOR ADDITIONAL INFORMATION.
- 5. STUB CONDUIT WITHIN PEDESTAL TO SERVE CARD READER PEDESTAL FOR EXTERIOR DOOR. REFER TO DETAIL 1/E201 FOR ADDITIONAL INFORMATION.
- 6. PROVIDE NEW 20A/2P CIRCUIT BREAKER IN EXISTING PANEL TO SERVE NEW MOTORIZED GATE OPERATOR. PROVIDE WITH CIRCUIT BREAKER LOCKOUT TO SECURE BREAKER IN THE 'OFF' POSITION DURING MAINTENANCE OPERATIONS.



CONSTRUCTION DOCUMENTS  
**HOMES FOR GOOD FENCE**  
 HOMES FOR GOOD  
 100 WEST 10TH AVENUE  
 EUGENE, OR 97401

SHEET TITLE:  
**ELECTRICAL  
 PARTIAL  
 LOWER LEVEL  
 FLOOR PLAN**

REVISIONS:  
 #    DESCRP.    DATE

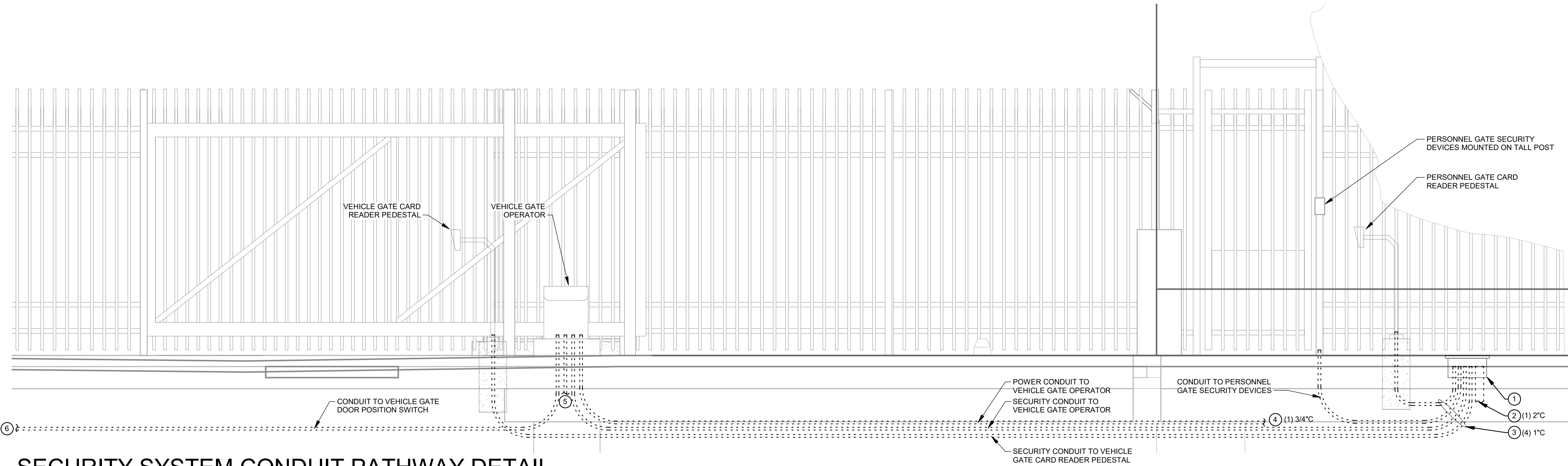
ISSUE DATE: 04/22/2022

E101

**1 PARTIAL LOWER LEVEL FLOOR PLAN**  
1/4" = 1'-0"







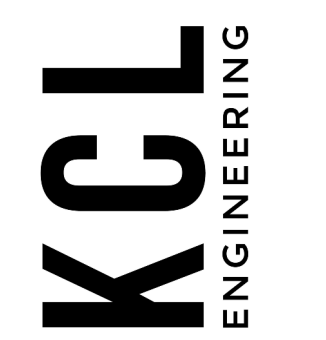
**1 SECURITY SYSTEM CONDUIT PATHWAY DETAIL**  
NOT TO SCALE

**GENERAL NOTES**  
A. REFER TO SITE PLAN ON E001 AND PARTIAL LOWER LEVEL FLOOR PLAN ON E101 FOR ADDITIONAL CONDUIT ROUTING AND INSTALLATION INFORMATION.  
B. CONFIRM SECURITY CONDUIT INSTALLATION REQUIREMENTS WITH SECURITY SYSTEM CONTRACTOR PRIOR TO ROUGH-IN.

**KEYED NOTES** Ⓢ  
1. SECURITY SYSTEM PULL BOX.  
2. HOMERUN SECURITY CONDUIT FOR ACCESS CONTROL SYSTEM. SEE PARTIAL LOWER LEVEL FLOOR PLAN ON E101 FOR CONTINUATION.  
3. SECURITY SYSTEM CONDUITS.  
4. POWER FOR GATE OPERATOR MOTOR. SEE PARTIAL LOWER LEVEL FLOOR PLAN ON E101 FOR CONTINUATION.  
5. CONDUIT PATHWAY TO GATE OPERATOR INDUCTION LOOP. REFER TO SITE PLAN ON E001 FOR CONTINUATION.  
6. CONDUIT PATHWAY TO GATE DOOR POSITION SWITCH. REFER TO SITE PLAN FOR CONTINUATION. ROUTE CONDUIT FROM WITHIN CONTROLS PORTION OF GATE OPERATOR ENCLOSURE AND STUB WITHIN GATE POST AND PROVIDE WITH PULL STRING ALONG THE ENTIRE LENGTH OF CONDUIT AND THROUGH GATE POST TO ACCESS CONTROL DEVICE LOCATION.



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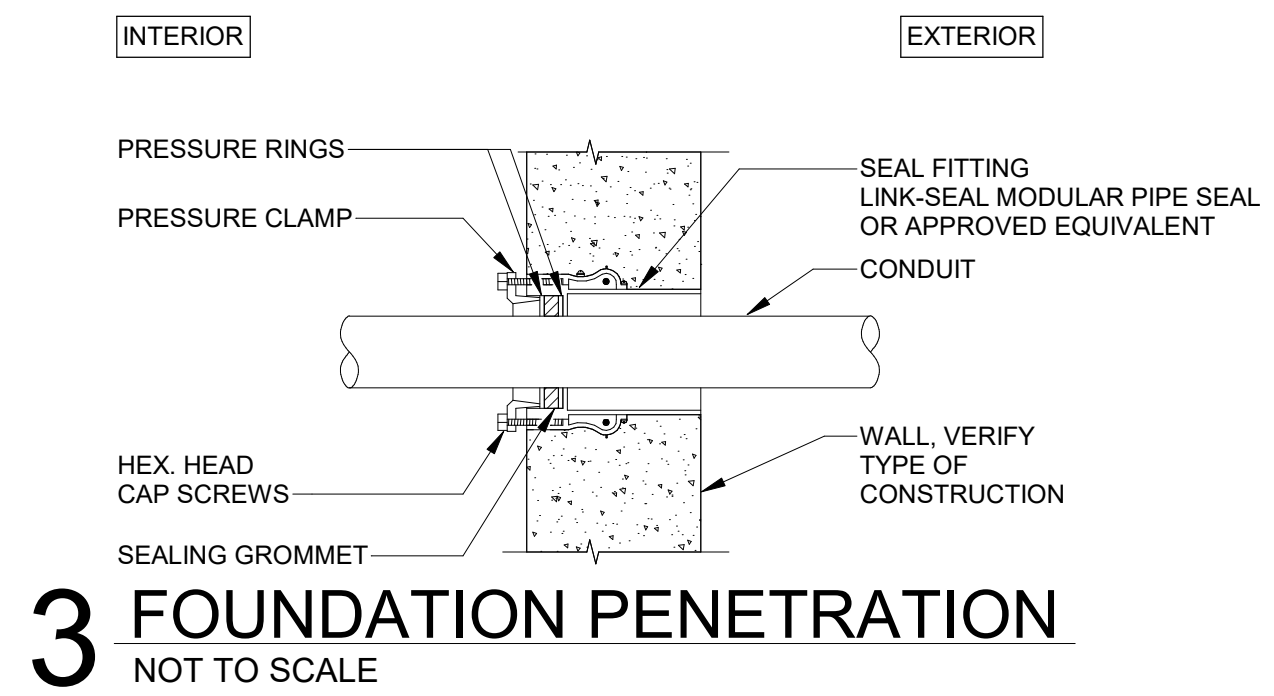
CONSTRUCTION DOCUMENTS  
**HOMES FOR GOOD FENCE**  
HOMES FOR GOOD  
100 WEST 10TH AVENUE  
EUGENE, OR 97401

SHEET TITLE:  
**ELECTRICAL DETAILS**

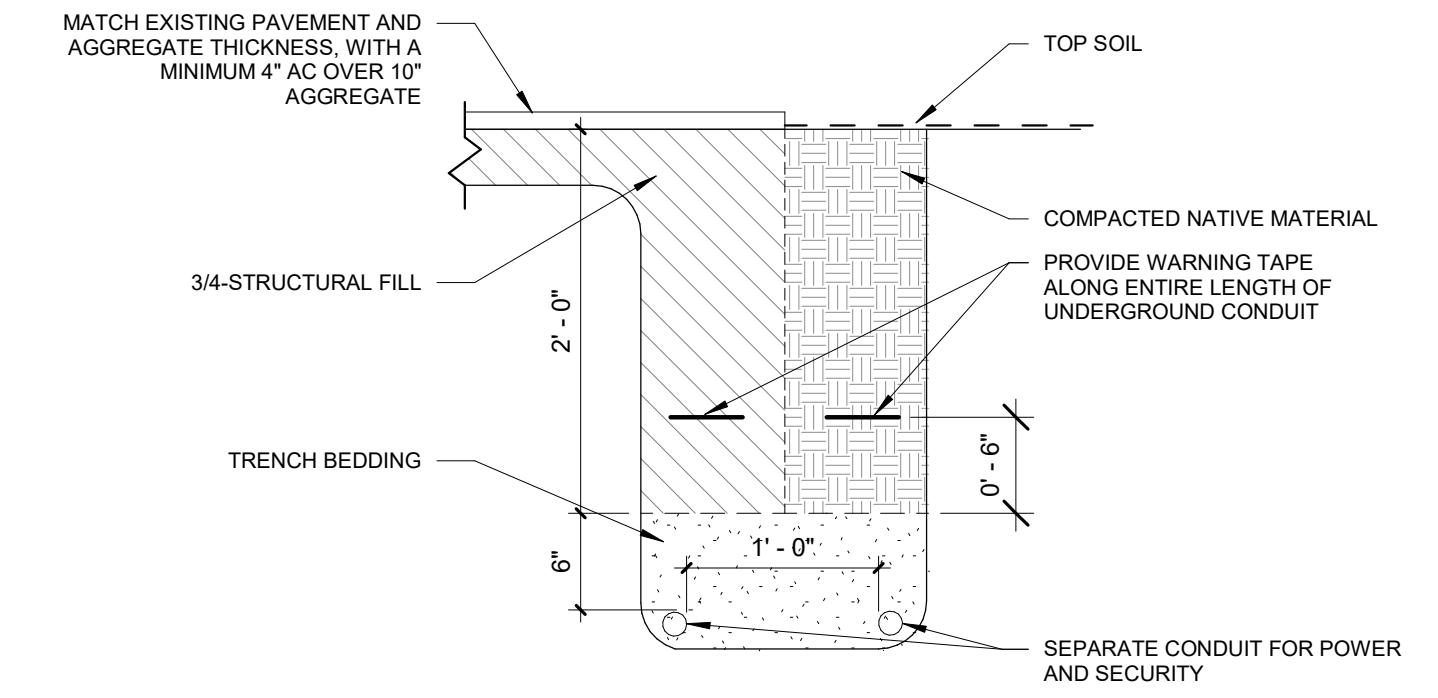
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**E201**



**3 FOUNDATION PENETRATION**  
NOT TO SCALE



**2 ELECTRICAL TRENCH DETAIL**  
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